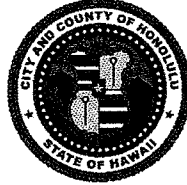


DEPARTMENT OF PLANNING AND PERMITTING
CITY AND COUNTY OF HONOLULU

650 SOUTH KING STREET, 7TH FLOOR • HONOLULU, HAWAII 96813
PHONE: (808) 768-8000 • FAX: (808) 768-6041
DEPT. WEB SITE: www.honolulu.gov • CITY WEB SITE: www.honolulu.gov

KIRK CALDWELL
MAYOR



KATHY K. SOKUGAWA
ACTING DIRECTOR

TIMOTHY F. T. HIU
DEPUTY DIRECTOR

EUGENE H. TAKAHASHI
DEPUTY DIRECTOR

October 14, 2020

2020/GEN-9(WA)

The Honorable Ann H. Kobayashi
Chair and Presiding Officer
and Members
Honolulu City Council
530 South King Street, Room 202
Honolulu, Hawaii 96813

Dear Chair Kobayashi and Councilmembers:

**SUBJECT: Request for Exemptions from Development Regulations
Pursuant to Chapter 201H-38, Hawaii Revised Statutes (HRS)**

Project: The Residences at Bishop Place
Owner: DEG LLC
Applicant: Douglas Emmett Management LLC
(Kevin Crummy)
Agent: R. M. Towill Corporation (Keith Kurahashi)
Location: 1132 Bishop Street - Central Business District
Tax Map Keys: 2-1-010: 015, 021 to 024, and 032

DEG LLC is requesting exemptions from City regulations and fees to develop affordable housing pursuant to Chapter 201H-38, HRS. The purpose of these provisions is to encourage the development of affordable housing.

Enclosed for your review and action are a staff report and draft resolution. The enclosed draft resolution is to grant exemptions from certain statutes, ordinances, and rules relating to zoning and permit fees to allow development of the Project.

The Honorable Ann H. Kobayashi
Chair and Presiding Officer
and Members
October 14, 2020
Page 2

Pursuant to Section 201H-38, HRS, the City Council has 45 days to act on the matter from the date the Department of Planning and Permitting submits the request to the City Council. If the City Council does not act on the request within 45 days, the exemptions will be automatically approved.

Should you have any questions, please call me at 768-8000.

Very truly yours,

Kathy K. Sokugawa
Acting Director

Enclosures

APPROVED:

Roy K. Amemiya, Jr.
Managing Director

cc: Corporation Counsel
DEG LLC
R. M. Towill Corporation (Keith Kurahashi)
Standard Sales Co.

DEPARTMENT OF PLANNING AND PERMITTING
OF THE CITY AND COUNTY OF HONOLULU

STATE OF HAWAII

IN THE MATTER OF THE APPLICATION)
)
OF)
)
DEG LLC)
)
CHAPTER 201H - HAWAII REVISED)
STATUTES (HRS) EXEMPTIONS)
)
FOR AN)
)
AFFORDABLE HOUSING PROJECT)
_____)

FILE NO. 2020/GEN-9(WA)

I. APPLICATION

A. Basic Information:

PROJECT:	The Residences at Bishop Place
LANDOWNERS:	DEG LLC; Standard Sales Co. [Tax Map Key (TMK) 2-1-010: 032 (Parcel 32)]
APPLICANT:	DEG LLC (Kevin Crummy)
AGENT:	R. M. Towill Corporation (Keith Kurahashi)
LOCATION:	1132 Bishop Street - Central Business District (Exhibit A)
PROJECT TAX MAP KEYS:	2-1-010: 015, 021 to 024, and 032
PROJECT LAND AREA:	50,680 square feet
ZONING LOT TAX MAP KEYS:	2-1-010: 011, 013, 015, 017, 021 to 024, 032, 039, 041, and 047
ZONING LOT LAND AREA:	73,444 square feet
STATE LAND USE:	Urban District
ZONING:	BMX-4 Central Business Mixed Use District (Exhibit B)
EXISTING USE:	Office building under renovation to convert to multi-family dwelling use.
SURROUNDING LAND USE:	Retail, eating establishments, and office buildings.

- B. Proposal: The Applicant proposes to convert an existing 25-story office building into an affordable and market-rate multi-family rental structure with 493 dwelling units (Project). The proposal includes 252 affordable units (51.1 percent) and 241 market-rate units (48.9 percent). The units will range in size from studios to two bedrooms. The Project will provide affordable housing to those households earning 80 percent to 120 percent Area Median Income (AMI).

The Project will also include a renovated lobby, existing underground vehicular and new bicycle parking, new fitness center, café, and other communal areas. The Fort Street Mall entrance is proposed for reconstruction to provide Americans with Disabilities Act (ADA) access to the building (see Exhibits C through U).

The planned conversion of the office building to rental units will be completed in three phases:

- Phase 1: Began conversion of 98 residential units (Applicant has provided Park Dedication for 98 residential units) on five floors and renovating the first two floors (lobby and amenities). Construction was started in July 2019.
- Phase 2: Conversion to 71 units on three floors (3, 7, and 12).
- Phase 3: Conversion of floors 15, 18, and 19.

Conversion of the remaining floors will depend on the existing office tenants vacating their spaces as their leases expire. The Applicant states that they cannot provide a specific date when the leases will expire and/or when all the affordable rental units will be available.

- C. Affordability Requirements: The following tables show the number of apartments, affordability, and unit types:

Table 1: Affordability Level of Units Based on AMI

Affordable Unit AMI Percentage	Number of Units	Percent of Total Units
80	99	20.1
120	153	31.0
Total Affordable Units	252	51.1
Market Rate Units	241	48.9
Total Number Of Units	493	100.0

Units will not be specifically designated as affordable or market rate within the

building. However, the Applicant will maintain the required number of affordable units throughout the building for a minimum of 30 years.

Table 2: Type of Apartment

Affordable Apartment Type	Number of Units	Percent Affordable
Studio	33	13.1
One-Bedroom	175	69.4
Two-Bedroom	44	17.4
Total Affordable Units	252	51.1

The Department of Planning and Permitting (DPP) uses the income limits released annually by the U.S. Department of Housing and Urban Development to calculate and publish the 100 percent, 120 percent, and 140 percent AMI guidelines by household size. Currently, at the 80 percent AMI level, households must earn no more than \$70,500 for a single-person household and \$108,800 for a five-person household. At the 120 percent AMI level, the income limit for households is \$105,800 for a single-person household and \$163,200 for a household of five.

The maximum rent, including utility expenses such as water and sewer, for units affordable to households earning no more than 80 percent of the AMI ranges from \$1,473 for a studio unit to \$2,160 for a two-bedroom unit. For households earning no more than 120 percent of the AMI, the maximum rent increases to a range of \$2,834 to \$3,570 for a studio unit and two-bedroom unit, respectively.

- D. Financing: The Project is expected to cost approximately \$80 million. The Applicant will be funding the entire Project, without any Federal or State subsidy, and is prepared to spend additional funds upgrading Union Mall under a separate agreement with the City.

II. FINDINGS OF FACT

On the basis of the evidence presented, the Director has found:

- A. Description of the Project Site and Surrounding Uses: The 50,680-square-foot, irregularly-shaped Project site consists of six adjacent parcels in the BMX-4 Central Business Mixed Use District located in the Central Business District of downtown Honolulu. The Project site is bounded by Bishop Street to the east, Fort Street Mall to the west, and office and commercial uses to the north and south. The Union Street Mall, Fort Street Mall, and the streets are owned by the City and County of Honolulu. Multi-family dwellings are a permitted use in the BMX-4 District.

The existing 25-story building was built in 1992 with approximately 452,343 square feet of office space and five levels of underground parking. There are currently 29 commercial tenants in the building. Except for Parcel 32, the Applicant owns all the parcels.

The site is accessible for vehicles and bicycles through the existing driveway off Bishop Street and through Parcel 32 to an underground garage below the existing building. Project parking and loading spaces are also located on Parcel 32. Pedestrian access is provided from the existing pedestrian promenades of the Fort Street Mall and Union Mall.

- B. Chapter 343, Hawaii Revised Statutes (HRS): An Environmental Assessment is not required pursuant to Hawaii Administrative Rules (HAR) Section 11-200.1-15(10), which enumerates an exemption for affordable housing projects. Under these rules, the construction of affordable housing is an exempt action provided that it complies with applicable affordable housing regulations of the State or County and meets the following criteria:

- Does not involve the use of State or County lands or funds or development within Waikiki which triggers compliance with HRS Chapter 343;
- The Project conforms with the State Land Use Urban Classification;
- The Project is located within a County zoning district that allows for housing; and
- The Project does not require a Shoreline Setback Variance and is not in an environmentally sensitive area, pursuant to HAR Section 11-200.1-13(b)(11).

The Project complies with all criteria.

- C. Flood District: The Federal Emergency Management Agency Flood Insurance Rate Map Community Panel Number 0362G, revised November 5, 2014, indicates that the Project site is within Flood Zone X areas determined to be outside the 0.2 percent annual chance floodplain.
- D. Public Notification and Comments: The Applicant presented the Project to the Downtown/Chinatown Neighborhood Board No. 13 (Board) on June 4, 2020. The presentation was followed by questions and comments related to parking, pets, density, and public notice. The Board did not vote on the Project.

The application materials were routed to various public agencies for review and comment. No public agency objected to the Project. The following agencies provided a response regarding the Project:

City: Board of Water Supply (BWS), Department of Budget and Fiscal Services (BFS), Department of Design and Construction, Department of Land Management (DLM), Honolulu Fire Department (HFD), Honolulu Police Department (HPD), Department of Transportation Services (DTS); Department of Environmental Services (ENV); and

State: Department of Land and Natural Resources' (DLNR) Engineering and Land Divisions, and Department of Education (DOE).

The BFS, DLM, and DLNR Land Division did not have any comments. Any substantial comments received are addressed in the analysis.

E. Other Permits and/or Approvals: The following permits and approvals were approved for the subject properties:

1. Conditional Use Permit (CUP): A CUP (No. 89/CUP1-19) was approved on May 5, 1989, for a joint development (JD) of TMKs 2-1-010: 013, 015, 017, 021 to 024, 032, 039, and 047. The JD was amended twice to include Parcels 011 and 041 (for a total of 12 parcels). This comprises the 73,444-square-foot zoning lot.
2. Zoning Variance (ZV): ZV No. 96/VAR-53 was approved on January 31, 1997, to allow a 25-story commercial/office building to exceed the maximum density and height limit. The maximum density was based on the zoning lot (12-parcel JD). The proposal was to enclose the rooftop mechanical level (13,540 square feet), for a total floor area of 520,230 square feet. That exceeds the maximum permitted floor area [508,854 square feet and floor area ratio (FAR) of 7.5] by 11,376 square feet, or about 2.2 percent. The building is 387 feet in height, which exceeds the 350-foot maximum height by 37 feet, or about 11 percent. The ZV is effective for the life of the commercial/office building and limits the use of the rooftop for mechanical equipment only.
3. Park Dedication: Park Dedication (File No. 2019/PARK-40) was approved for 98 market rate rental units on December 17, 2019, for Phase 1 of the Project. The 98 units required 10,780 square feet of park space; the park dedication requirement is being met by the provision of 12,440 square feet consisting of 3,350 square feet on the second level (Fitness Center), and 9,090 square feet on the rooftop (Putting Green). The Applicant signed an agreement, executed by the Owner, and provided a surety bond for approximately \$638,708 for the cost of construction of the private park improvements.

III. REQUESTED EXEMPTIONS AND ANALYSIS

- A. HRS Chapter 201H, Requirements and Exemptions: The Project has demonstrated compliance with the qualifying requirements of HRS Chapter 201H, as noted in the Notice of Eligibility dated April 1, 2020.

1. Permit, Plan Review, and Utility Fees: Table 3 summarizes the requested and recommended permit, plan review, and utility fee exemptions.

Table 3: Requested Exemptions - Permit, Plan Review, and Utility Fees

Item	Section	Estimated Total Fees	Requested Exemption	Recommendation
Permit Fees:				
Building	18-6.2 Revised Ordinances of Honolulu (ROH)	\$186,000 (for Phases 2 and 3)	\$186,000 (for Phases 2 and 3)	\$186,000 (for Phases 2 and 3)
Plan Review Fees:				
Building Permit (BP) Plan Review	18-6.1 ROH	\$37,000 (for Phases 2 and 3)	\$37,000 (for Phases 2 and 3)	\$37,000 (for Phases 2 and 3)
HFD Plan Review	20-1.1(3) ROH and 20-12.8 ROH	\$19,000	\$19,000	\$19,000
Utility Fees:				
Wastewater System Facility Charge	14.10.1 and 14-10.3 ROH	\$1,191,385	\$1,191,385	\$1,191,385 (deferral)
Water System Connection Charge	1-102, 2-202(2), and 2-202(3) BWS Rules	\$112,380	\$112,380	\$112,380 (deferral)
	Estimated Totals	\$1,545,765	\$1,545,765	

The Applicant requests exemption of the Wastewater System Facility and BWS System Connection charges for payment of fees for the affordable units and deferral of payment for the market rate units until after the issuance of the certificates of occupancy (CO).

The BWS states that they may waive the fees for qualified on-site affordable dwelling units, up to 500 dwelling units per year. For non-qualifying units, the Applicant will be required to pay the fees for resource development, transmission, and daily storage. As such, the DPP recommends deferral and not exemption of the water system connection charge.

The Applicant requests exemption of HFD Plan Review fees. The ENV states that they support deferral, but not exemption of fees.

Apart from the requests identified in Table 3, no other fee exemptions or deferrals were requested, for example, from Hawaiian Electric Company (HECO). As such, in order to determine compliance with the Public Utility Commission (PUC) and BWS safety standards, tariffs, or rates and fees, the DPP forwarded the application to the BWS for review. No fee exemptions or deferrals were requested from public utilities under the jurisdiction of PUC, apart from BWS. The above recommendations do not adversely affect public health and safety and help reduce the cost of producing affordable housing. Therefore, we do not object to the proposed exemptions and deferrals.

2. Chapter 21, ROH: The Applicant requests certain exemptions from the Land Use Ordinance (LUO) requirements for parking and loading spaces as itemized in Table 4.

Table 4: LUO (Chapter 21, ROH) Requested Exemptions

Item	Section(s)	LUO Standard BMX-4 District	Proposal	Recommendation
Vehicle Parking	21-6.20(a) [Table 21-6.2]	Off-street Parking Requirements.	Exemption to 493 dwelling unit parking spaces to allow 467 spaces.	<u>Modify</u> , 124 required parking spaces.
	21-.6.30(d)	Parking space size.	Exemption to 50 percent compact parking space requirement to	<u>Approval</u> , 78 standard parking spaces and 243 compact parking spaces provided.

Item	Section(s)	LUO Standard BMX-4 District	Proposal	Recommendation
(Cont'd)	21-6.40(c)(1)	Arrangement of parking spaces.	allow 85 percent compact spaces. Exemption to assigned tandem parking spaces to allow tandem spaces to be assigned to different units without parking attendant.	Denial , tandem parking spaces must be assigned to same tenant.
Off-street Loading	21-6.120(b)	Loading space dimensions.	Exemption to the dimension requirement to allow one existing loading space to be 19 x 8.5 feet and vertical clearance of 6.83 feet.	Approval

Table 5: Proposed Parking

Parking Level	Standard Sized Parking Space	Compact Sized Parking Space	Tandem Parking Space	Tandem Compact Parking Space	Handicapped Parking Space
P1	13	0	0	0	13
P2	26	34	16	74	0
P3	9	29	0	72	0
P4	9	28	0	72	0
P5	0	14	0	58	0
Total	57	105	16	276	13
Percentage of Total	12.2	22.5	3.4	59.1	2.8
Total Parking Spaces For Dwelling Units	467				

This parking table differs from the Applicant's proposed parking table which has a total of 534 parking spaces and includes 67 parking spaces for retail, eating establishments, and commercial office spaces. The revised parking calculations in Table 5 are based on the parking requirement for the rental dwelling units only; the commercial uses are not included.

The parking requirement for the Project is 493 parking spaces; this is based on a requirement of one space per unit. There is no parking requirement for commercial uses in the BMX-4 District. The Applicant proposes to provide 467 residential parking spaces which is 26 fewer parking spaces than are required by the LUO Table 21-6.2. Also, of the 467 parking spaces, 448 spaces or 85 percent are compact spaces. This exceeds the maximum permitted 50 percent compact spaces.

The Project will be served by multiple modes of transportation including City bus, bicycle lanes, ride sharing services, and the future rail station. As such, a parking requirement of one parking space per four dwelling units is reasonable and should provide an adequate amount of parking spaces. Based on this standard, a minimum of 124 parking spaces are required [at one parking space per four dwelling units, 124 parking spaces are required for 493 dwelling units ($493 \div 4 = 123.5$)].

The existing parking layout has 292 compact parking spaces in a tandem arrangement. The proposal to allow two compact tandem parking spaces to be assigned to two different units will be problematic and is unacceptable. If every pair of tandem spaces is assessed as one parking space, 321 parking spaces (78 standard and 243 compact) will be provided for the dwellings. This exceeds the parking requirement of one space per four dwellings and is the recommended required parking for the Project.

The Project requires five loading spaces. Five loading spaces are provided; however, one 8.5- x 19-foot space lacks the required vertical clearance. The DPP does not object to this exemption as the space is existing and can be utilized by small delivery vans for drop off/pickup of food and supply deliveries.

A total of 249 bicycle parking spaces are required for all uses in the building; 308 bicycle parking spaces are proposed. A combination of short-term and long-term residential and non-residential bicycle parking spaces will be provided on all five parking levels within the parking area. The Applicant indicates that the required bicycle parking spaces will be provided. Therefore, no exemption is required.

Table 6: Park Dedication (Chapter 22, ROH) Requested Exemptions Summary

Item	Section	Required Value	Proposal	Recommendation
Park Dedication	22-7	\$17,950,130	On-site: 11,185 square feet (s.f.) On- and Off-site: Improvements valued at \$5,104,965	Partial Approval On-site: 11,185 s.f. On-site: Improvements valued at \$291,577

Although Park Dedication was provided for the 98 units contained in Phase 1 of the Project (Park Dedication File No. 2019/PARK-40) the Applicant indicates that the rooftop putting green cannot be installed due to the use restriction imposed by the ZV and the physical constraints caused by the existing mechanical equipment. The Applicant still proposes to provide the 3,350-square-foot fitness center, however requests exemption from Park Dedication requirements for the entire Project (Phases 1, 2, and 3). The required Park Dedication area for the Project is 54,230 square feet (493 rental units x 110 square feet). The Applicant has proposed 11,185 square feet of on-site private park recreation areas. Based on a land value of approximately \$331 per square foot, the required Park Dedication in lieu fee is \$17,950,130 (54,230 square feet x \$331). The following table summarizes the Park Dedication request:

Table 7: Park Dedication Requested Exemptions Details

Project Item	Square Feet
Entertainment Lounge	2,117
Community Room	1,800
Fitness Center	3,350
Resident Game Room	2,235
Meditation Garden	1,683
Total	11,185
Project Item	Cost
Fitness Center	\$182,100
Lobby Furniture	\$13,388
Meditation Garden	\$109,477
Union Mall Improvements*	\$2,000,000
Security and Maintenance**	\$2,800,000
Total	\$5,104,965

*Future improvement

**Net present value of budgeted expenses for 30 years

The \$13,388 lobby furniture should not be accepted for Park Dedication compliance as it is not an area for recreational use. The \$2,000,000 for Union Mall improvements cannot be accepted for Park Dedication as malls are not recreation space. The \$2,800,000 security and maintenance is unrelated to recreation and should also not be accepted for Park Dedication.

In addition to the proposed private park areas and amenities, public park facilities in close proximity to the Project provide recreational resources for the residents. To facilitate the provision and retention of the affordable housing units, the DPP recommends that the Project be exempted from park dedication requirements.

B. General Plan (GP), Primary Urban Center Development Plan (PUCDP), and Downtown Neighborhood Transit-Oriented Development (TOD):

1. GP: The GP is a statement of the long-range policy goals for the City and County of Honolulu. The following GP objectives and policies that specifically pertain to the proposed Project are:

- Population (Objective C, Policy 1);
- Economic Activity (Objective F, Policy 1);
- Housing (Objective A, Policies 1, 7, and 8); and
- Transportation and Utilities (Objective A, Policies 7 and 10).

These policies specify that the PUC:

- Develop programs and controls which will provide homes for the least possible cost;
- Provide financial and other incentives to encourage the production of homes of low and moderate income; and
- Promote the use of public transportation as a means of moving people quickly and efficiently to conserve energy and guide urban development.

2. The PUCDP: The PUCDP designates the Project area as Medium and Higher-Density Residential/Mixed Use on the Land Use Map. The PUCDP vision for Honolulu encourages growth and redevelopment to accommodate projected increases in the residential population by cultivating livable neighborhoods with an expanded inventory of affordable rental housing and access to a balanced transportation network of multi-modal mobility options (Section 3.2.2.1).
3. Downtown Neighborhood TOD Plan: The Project is located within the proposed Downtown TOD Special District (SD). The Project site is approximately a quarter of a mile (0.25 mile) from the future Chinatown Rail Station and the future Downtown Rail Station. The Project Site is

designated as Mixed-Use, High-Intensity in the Downtown TOD SD plans vision and guiding principles.

The Project is consistent with the goals and objectives of the GP, the PUCDP, and Downtown Neighborhood TOD Plan. The Project will provide affordable housing, implement redevelopment of an existing building, and will encourage the use of alternate transportation modes by providing reduced vehicular parking.

- C. Flood Zone, Sea Level Rise (SLR), and Flooding: The Project site is located outside the 3.2-foot SLR exposure area identified in the “Hawaii SLR Vulnerability and Adaptation Report” prepared by Tetra Tech Inc., and the State of Hawaii DLNR, 2017.
- D. Historical Sites: No archaeological inventory survey was completed for the site. The existing building was built in 1992 and is not designated as a historical site. No ground disturbance is proposed.
- E. Infrastructure:
 - 1. Water: The BWS potable water system services the Project site. The existing office building is served by a four-inch compound meter for fire protection use through an eight-inch lateral from Fort Street Mall. A new six-inch compound meter for the Project will be installed for residential use through a six-inch lateral from Fort Street Mall, while the existing four-inch compound meter will be downsized to a new 0.75-inch meter maintaining the existing lateral from Fort Street Mall. The existing six-inch detector check meter for fire protection will remain.

The BWS confirmed that the existing water system is adequate to accommodate the domestic and off-site fire protection demands for the Project in a letter dated September 17, 2018.

The BWS requires separate domestic water meters and laterals serving the residential and non-residential spaces and water conservation measures. These measures include utilization of nonpotable water for irrigation using rain catchment, drought tolerant plants, xeriscape landscaping, efficient irrigation systems, such as a drip system and moisture sensors, and the use of Water Sense labeled ultra-low flow water fixtures and toilets. The Applicant will comply with BWS requirements.
 - 2. Wastewater: The existing office building is served by multiple six-inch laterals from Fort Street Mall and Union Mall. A new eight-inch lateral from Union Mall for the Project will be installed and two six-inch laterals will be cut and plugged.

The DPP Wastewater Branch approved a Sewer Connection Application (No. 2018/SCA-1609) for the Project on September 17, 2018 with an expiration date of September 16, 2020. The sewer connection was completed prior to the expiration. The existing water system with proposed improvements is adequate to accommodate the Project's wastewater demands.

3. Stormwater and Drainage: The existing Project site is served by multiple drain laterals from Fort Street Mall and Union Mall. All existing laterals will remain.
4. Fire: Fire protection is provided from the Kakaako Fire Station (Station No. 9). The HFD recommends that the DPP assess the Applicant an additional fire prevention and safety fee to fund the necessary resources to service the area's development. The proposed fee should not be less than \$1,000 for each market rate residential unit or \$5 per square foot to ensure that the appropriate public safety cost are shared by the developer.

However, on October 13, 2020 the HFD withdrew this recommendation. In the interest of maintaining affordability, the HFD will pursue a different avenue of securing the necessary funds to maintain or improve the level of service currently provided to the neighborhood.

5. Police: The Project site is within District 1 Central Honolulu, Sector 1 Aala Park/Chinatown/Downtown, and Patrol District 1 of the HPD. The HPD has no objections to the Project, but suggests that the Applicant utilize private security guards. There are currently security guards on the site and the Applicant has proposed to maintain security for the Project.
6. Schools: The Project is located within the Kalihi to Ala Moana School Impact Fee District which includes the Farrington Complex and the McKinley Complex. The students who will live within this proposed Project can be accommodated within the existing school complexes. The impact fee amount for the Project is \$3,864. The Hawaii DOE encourages the Applicant to continue to meet with DOE to execute an Educational Contribution Agreement. This 201H process is not able to exempt projects from State education fees.
7. Public Parks and Recreational Facilities: There are several mini parks in the Downtown area to serve the residents, including Dr. Sun Yat-sen Memorial Park, Fort Street Mall Mini Park, Smith-Beretania Urban Park, and Robert Wilcox Mini Park. These parks are within walking distance of the Project and open to the public for recreational use.

8. Solid Waste: The refuse storage area will be within the parking garage and on the west portion of Parcel 15 and the east portion of Parcel 32 at the loading area along their shared property line. A new private refuse service provider will be contracted for the Project on a permanent basis.
9. Electricity: The HECO confirmed that existing distribution circuits along Fort Street Mall and South Hotel Street could potentially be used to serve the Project.
10. Access and Circulation: Vehicular access to the Project site is provided on Bishop Street, a predominantly five-lane, one-way, southbound roadway generally oriented in the north-south direction that serves as a minor arterial through the downtown Honolulu area. The driveway from Bishop Street will be shared by the residential and commercial uses.

A Traffic Impact Report was prepared by Wilson Okamoto Corporation in April 2020. Based on the analysis of the traffic data, the following site conditions are the recommendations of this study:

- Maintain sufficient distance for motorists to safely enter and exit all project driveways.
- Maintain adequate on-site loading and off-loading service areas and prohibit off-site loading operations.
- Maintain adequate turn-around area for service, delivery, and refuse collection vehicles to maneuver on the Project site to avoid vehicle-reversing maneuvers onto public roadways.

The goals and objectives of the GP, PUCDP, and TOD have been sufficiently addressed. These conditions should be confirmed at the time of application for BPs. This should be made a condition of approval.

Further, a Traffic Management Plan (TMP) should be prepared for the Project and jointly reviewed and accepted by the DTS and DPP. The TMP shall include traffic demand management (TDM) strategies to minimize the amount of vehicular trips for daily activities and large events, if any. TDM strategies could include carpooling and ride sharing programs, transit, bicycle and pedestrian incentives, and other TDM measures. Bicycle parking or bike racks should be provided within this Project and shall be located in a safe and convenient location. This should be made a condition of approval.

A time line or phasing plan of the anticipated dates to obtain major BPs for demolition/construction work, including the Project date of occupancy, should be prepared by the Applicant. The time line should identify when

the construction management plan (CMP) and the TMP will be submitted for review and approval prior to the issuance of demolition/building permits for major construction work. The TMP or subsequent updates should be submitted after submittal of construction plans and approved prior to the issuance of a CO. This should be made a condition of approval.

The CMP shall identify the type, frequency, and routing of heavy trucks and construction related vehicles. Every effort shall be made to minimize impacts from these vehicles and related construction activities. The CMP should identify and limit vehicular activity related to construction to periods outside of the peak periods of traffic, utilizing alternative routes for heavy trucks, provisions for either on-site or off-site staging areas for construction related workers and vehicles to limit the use of on-street parking around the Project site and other mitigation measures related to traffic and potential neighborhood impacts. The Applicant shall document the condition of roadways prior to the start of construction activities and provide post-construction remedial measures, as necessary, such as restriping, road resurfacing, and/or reconstruction if the condition of the roadways has deteriorated as a result of the related construction activities. This should be made a condition of approval.

Access to the parking lot is via the driveway on Parcel 15. Parcel 32 is not owned by the Applicant and access onto and over Parcel 32 is necessary to access the Project parking and loading spaces and refuse area. Therefore, to ensure perpetual access to these areas, an access easement in favor of the Applicant must be created. Prior to the issuance of a building permit, access easements must be reviewed and approved by the DPP, and the easements should be recorded at the Bureau of Conveyances. The easement shall include all parking and loading spaces and refuse area associated with this Project on Parcel 32 in favor of Parcel 24. This should be a condition of approval. Pedestrian access is provided from the existing pedestrian promenades of Fort Street Mall and Union Mall. The Fort Street Mall entrance will be reconstructed to provide for new ADA access to the building.

11. Affordable Housing Agreement (AHA): To insure that the requirements of the HRS Chapter 201H, the Applicant should be required to submit an AHA to the DPP. This should be made a condition of approval.

F. Variance No. 96/VAR-53 (ZV): The ZV allowed the addition of a rooftop structure to protect exposed mechanical equipment. The rooftop structure created 13,540 square feet of floor area and also increased the building height. The total floor area of 520,230 square feet exceeded the maximum allowable floor area of 508,854 square feet by 11,376 square feet. The ZV Decision and Order states:

- The Variance shall be for the life of the structure (commercial/office building) only.

- The use of the rooftop area shall be limited to the existing mechanical equipment only.
- This Variance may be revoked by the Director when, due to a material change in circumstances, one or more of the three Charter-required findings of hardship can no longer be made; or when there is a breach of any of the conditions above stated; provided that, for good cause, the Director may amend the above conditions.

The ZV covers all parcels under the JD. The ZV Decision and Order remains valid, however, the 201H Resolution can approve the height and floor area overages when they are dedicated to the provision of affordable housing. Therefore, the Draft Resolution should grant exemptions from the height limit and density. The floor area granted under the ZV is 520,230 square feet. We recommend that the Draft Resolution allow 520,730 square feet of floor area to provide a "reserve" of 500 square feet of floor area that may be needed for unanticipated design revisions. The additional floor area will allow the conversion of unused areas on the Project site to support affordable housing.

Upon adoption of the Draft Resolution with the above floor area recommendation, the ZV should be rescinded to allow the Project to exceed 520,230 square feet, if necessary. Therefore, subsequent to the adoption of the Draft Resolution, the Applicant should request rescission of the ZV. This should be made a condition of approval.

- G. Park Dedication No. 2019/PARK-40: The DPP approved two private park areas (putting green and fitness center) for Phase 1 of the Project on December 17, 2019. However, since then, the putting green cannot be installed on the rooftop due to the necessary rooftop mechanical equipment needs, so the required improvements cannot be implemented. Therefore, the Applicant requests exemption of Park Dedication requirements for the entire Project. The DPP recommends exemption of all Park Dedication requirements.

As discussed above, the infrastructure for the Project is adequate to support the proposed development and the requested exemptions and deferral of fees and will not pose danger to the public health and safety.

IV. CONCLUSION

The Applicant has submitted all required documentation and the Project is consistent with the provisions of HRS Section 201H-38.

- A. The Project primarily provides affordable housing units.
- B. The Project meets the minimum requirements for health and safety.
- C. It is in compliance with the safety standards, tariffs, rates, and fees approved by the PUC for public utilities or the BWS.

The proposed affordable rental housing Project satisfies the eligibility criteria specified in HRS Chapter 201H and the City and County of Honolulu application requirements.

V. RECOMMENDATION

- A. Proposed Exemptions: Pursuant to the above, the Director of the Department of Planning and Permitting (DPP) recommends approval of the affordable rental housing Project from the requested exemptions and statutes, ordinances, and rules of government agency relating to zoning, development and improvement of land, and the construction of units thereon as listed in the Draft Resolution, as summarized in the following:

Building Permit (BP) Fees:

- 1. Exemption from Section 18-6.1 of the Revised Ordinances of Honolulu 1990 (ROH), to allow an exemption from payment of plan review fees for Phases 2 and 3, estimated at \$37,000.
- 2. Exemption from ROH Section 18-6.2, to allow an exemption from payment of BP fees for Phases 2 and 3, estimated at \$186,000.

Land Use Ordinance (LUO):

- 1. Exemption from LUO Section 21-6.30(d), relating to compact parking spaces, to allow an exemption from the maximum 50 percent compact parking space requirement and to allow 85 percent of the parking spaces to be compact size.
- 2. Exemption from LUO Section 21-6.30(a) and Table 21-6.2, relating to off-street parking requirements in the BMX-4 Central Business Mixed Use District, to allow the Project to provide a minimum of 124 parking spaces rather than the required 493 parking spaces for the multi-family dwellings, which includes tandem spaces which shall count as one parking space.

3. Exemption from LUO Section 21-6.120(b), relating to the dimensions of loading spaces, to allow exemption from the off-street loading vertical clearance requirement of one loading space.
4. Exemption from LUO Section 21-3.120-2(b) and Table 21-3.4, relating to the Resort, Business and Business Mixed Use Districts development standards, to allow exemptions from the density and height limit of the BMX-4 Central Business Mixed Use District and allow a maximum permitted floor area of 520,730 square feet and a maximum height of 387 feet for the Project.

Park Dedication: Exemption from ROH Section 22, Article 7, to allow exemption from Park Dedication requirements of approximately 11,185 square feet of private park area and approximately \$291,577 of improvements and amenities.

Fire Department Plan Review Fees: Exemption from ROH Sections 20-1.1(3); and 20-12.8, to allow an exemption from payment of Honolulu Fire Department plan review fees, estimated at \$19,000.

Wastewater System Facility Charge (WSFC): Exemption from ROH Sections 14-10.1 and 14-10.3, to allow the deferral of payment of WSFC, estimated at \$1,191,385, until the issuance of a certificate of occupancy (CO) for the Project.

Board of Water Supply: Exemption from Sections 1-102, 2-202(2), and 2-202(3) of the Board of Water Supply Rules, to allow the deferral of payment of water system connection charges, estimated at \$112,380 until the issuance of a CO for the Project.

B. Conditions of Approval: Pursuant to the above, the Director of the DPP recommends the following conditions:

1. Prior to the issuance of a BP for Phases 2 or 3 of the Project, the Applicant should obtain approval of access easements to parking and loading spaces and refuse area over and on Tax Map Key (TMK) 2-1-010: 032 in favor of TMK 2-1-010: 024 from the DPP, and record the access easements at the Bureau of Conveyances.
2. Prior to the issuance of a BP for Phases 2 or 3 of the Project, the Applicant should submit the following for review and approval:
 - a. To the Department of Transportation Services (DTS) and the DPP, a time line or phasing plan of the anticipated dates to obtain development permits for construction work, including the projected date of occupancy, in a format acceptable to the DPP. The time line should identify when the construction management plan (CMP)

and the traffic management plan (TMP) will be submitted for review and approval.

- b. To the DTS and the DPP, a CMP for the Project. The CMP should identify the type, frequency, and routing of heavy trucks and construction-related vehicles. The Applicant should make every effort to minimize impacts from construction vehicles and related construction activities. The CMP should identify and limit construction-related vehicular activity to periods outside of the peak periods of traffic, utilizing alternative routes for heavy trucks, provisions for either on-site or off-site staging areas for construction-related workers and vehicles to limit the use of on-street parking around the Project site, and other mitigation measures related to traffic and potential neighborhood impacts. The Applicant should document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing, and/or reconstruction if the condition of the roadways has deteriorated as a result of the related construction activities.
- c. To the DTS and the DPP, a TMP that includes traffic demand management (TDM) strategies to minimize the amount of vehicular trips for daily activities and large events, if any. TDM strategies could include carpooling and ride sharing programs, transit, bicycle and pedestrian incentives, and other TDM measures. A pedestrian circulation plan should also be included to provide accessibility and connectivity to the surrounding public sidewalks, including Union Mall, Hotel Street, and Fort Street Mall. A post TMP will be required approximately one year after the issuance of a CO for the Project to validate the relative effectiveness of the various TDM strategies identified in the initial TMP.
- d. To the DPP, confirmation of the following site conditions identified in the Traffic Impact Report at time of application for BPs:
 - Maintain sufficient distance for motorists to safely enter and exit all Project driveways.
 - Maintain adequate on-site loading and off-loading service areas and prohibit off-site loading operations.
 - Maintain adequate turn-around area for service, delivery, and refuse collection vehicles to maneuver on the Project site to avoid vehicle-reversing maneuvers onto public roadways.

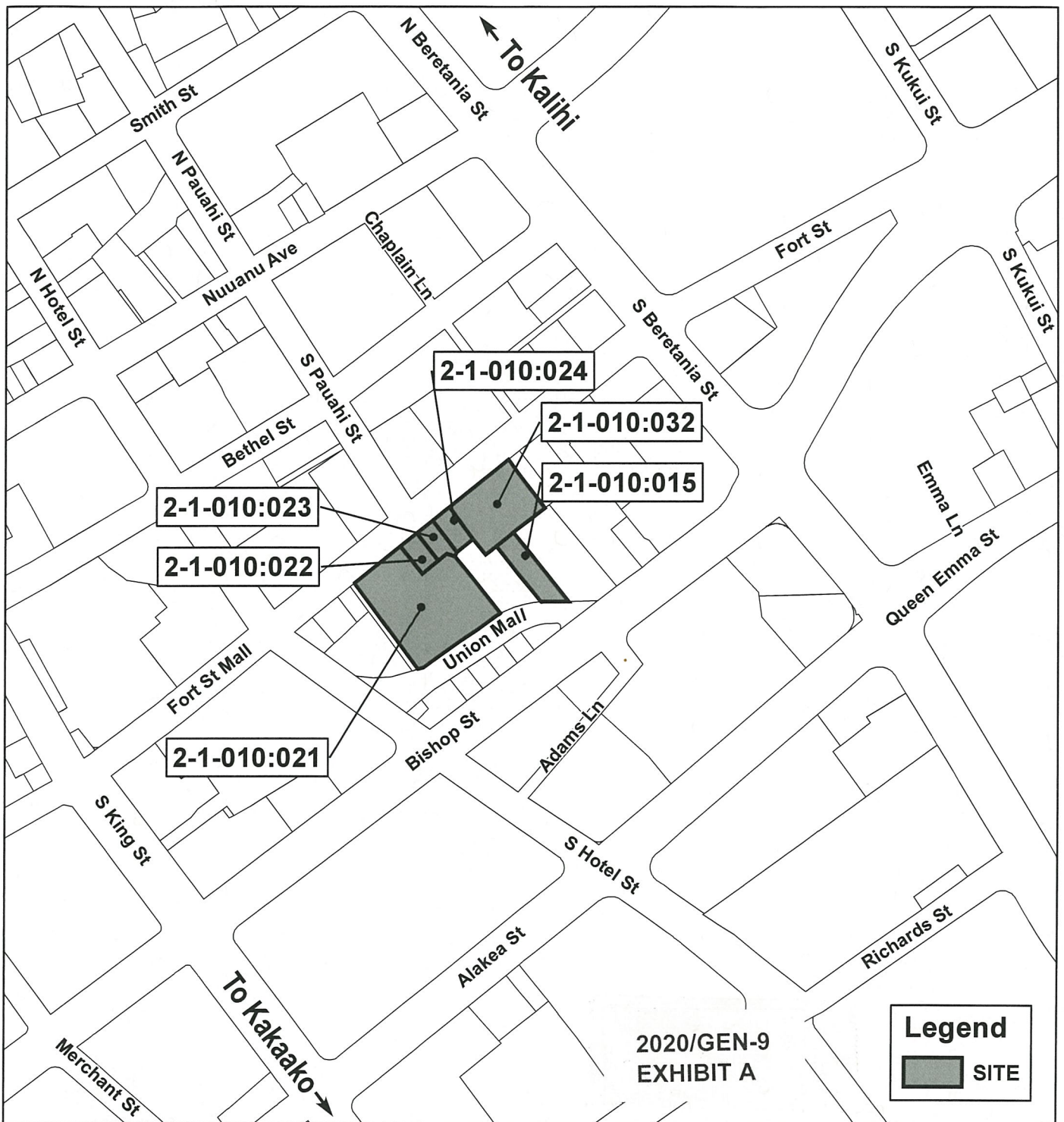
3. Prior to the issuance of any BPs for Phase 2 or 3 Project, the Applicant should execute a development agreement with the DPP that includes terms, conditions, and provisions to facilitate the efficient development and monitoring of the Project, and to ensure the Project's compliance with the requirements of Hawaii Revised Statutes (HRS) Chapter 201H and the draft Resolution.
4. Prior to the issuance of any BPs for Phase 2 or 3 of the Project, the Applicant should draft and execute an Affordable Housing Agreement with the DPP in accordance with the Affordable Housing Rules, and execute and record a declaration of restrictive covenant that encumbers the site.
5. Subsequent to the adoption of the Draft Resolution, the Applicant should request rescission of Zoning Variance File No. 96/VAR-53.

Dated at Honolulu, Hawaii, this 14th day of October, 2020.

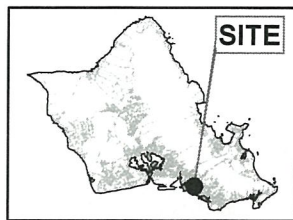
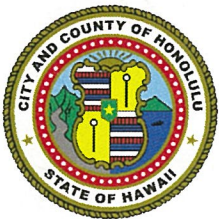
Department of Planning and Permitting
City and County of Honolulu
State of Hawaii

By _____
Kathy K. Sokugawa
Acting Director

Enclosures



2020/GEN-9
EXHIBIT A



VICINITY MAP

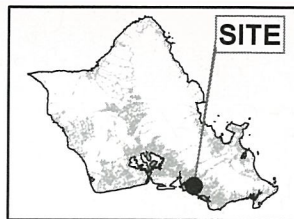
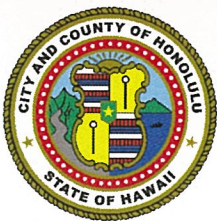
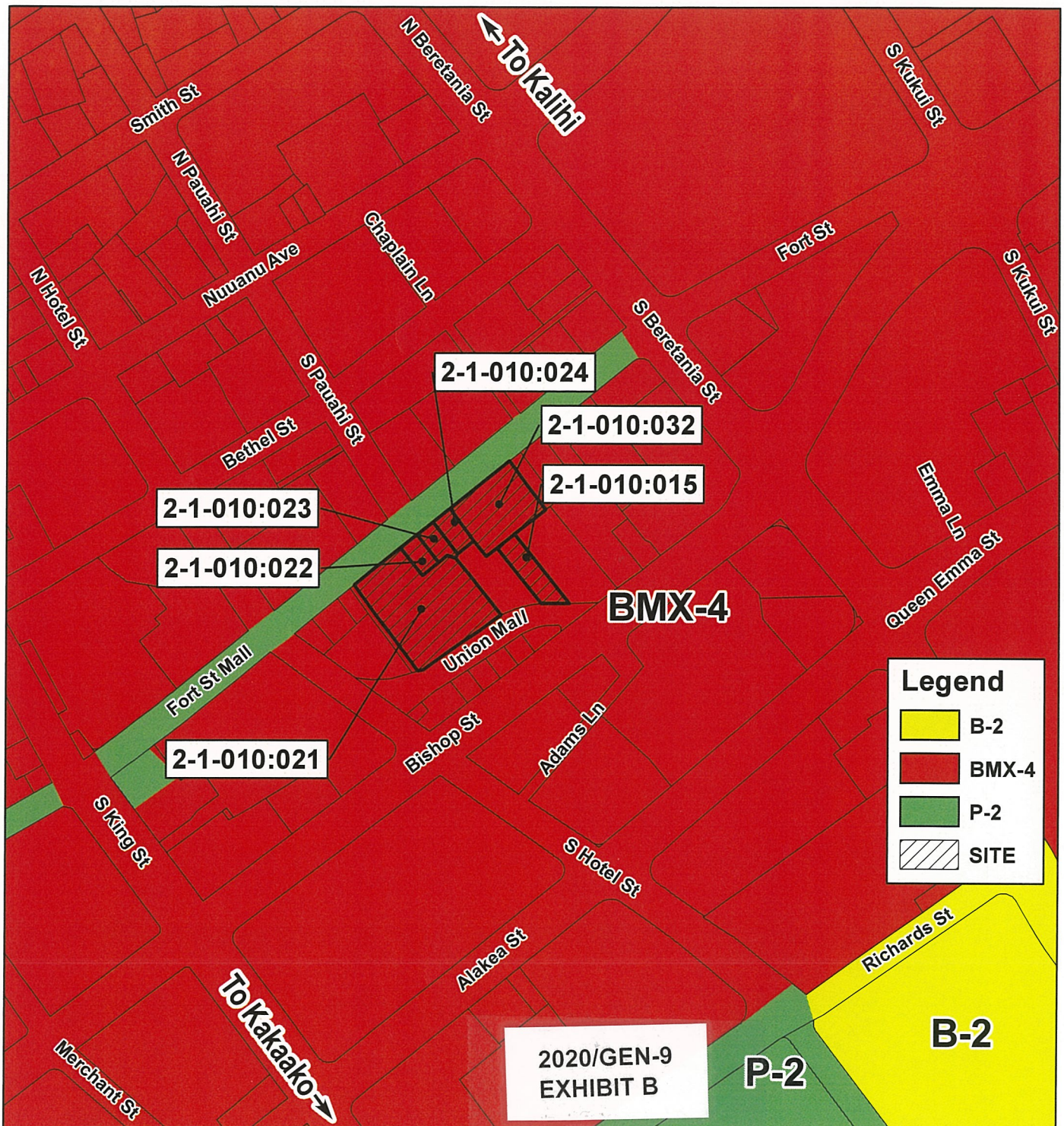
250 125 0 250
1 in = 250 ft



LOCATION MAP HONOLULU - DOWNTOWN

TAX MAP KEY(S): 2-1-010:015/021/022/023/024/032

FOLDER NO.: 2020/GEN-9



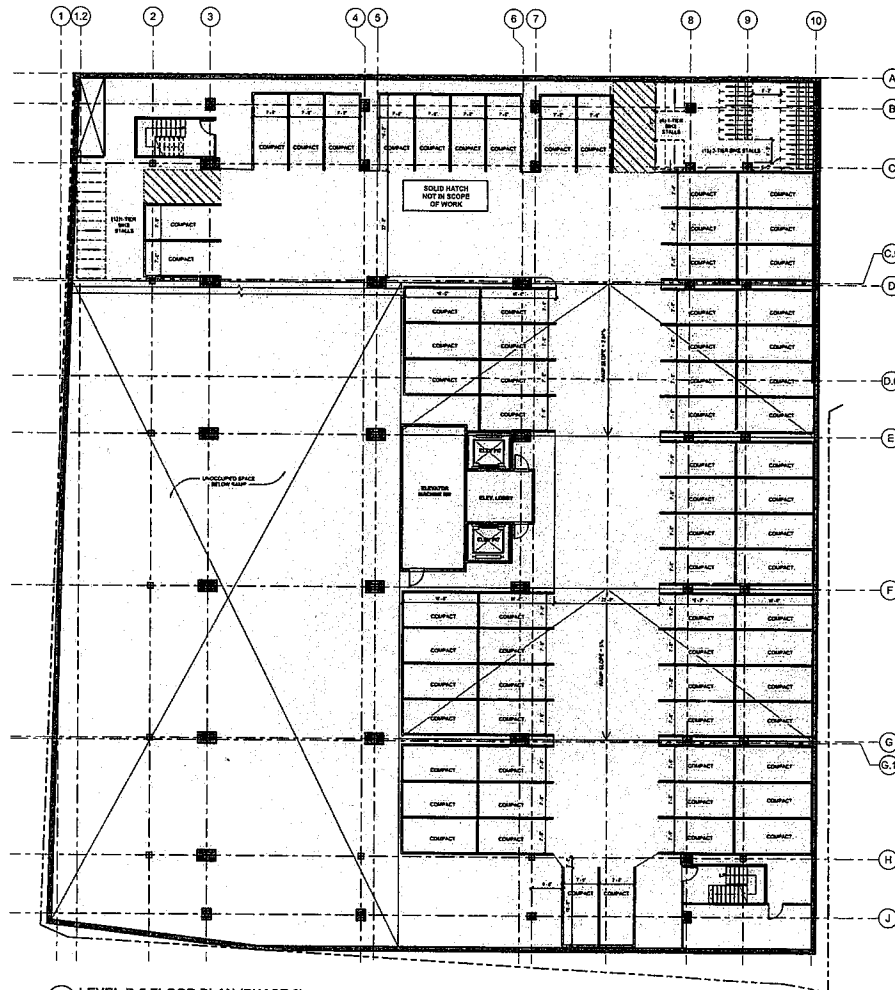
250 125 0 250
1 in = 250 ft



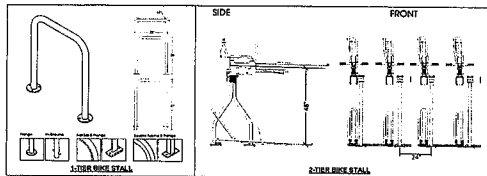
ZONING MAP HONOLULU - DOWNTOWN

TAX MAP KEY(S): 2-1-010:015/021/022/023/024/032

FOLDER NO.: 2020/GEN-9



1 LEVEL P-5 FLOOR PLAN (PHASE 2)
SCALE: 1/8" = 1'-0"



LINE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	1/2" WIDE STALL	1	EA	100.00	100.00
2	1/2" WIDE STALL	1	EA	100.00	100.00
3	1/2" WIDE STALL	1	EA	100.00	100.00
4	1/2" WIDE STALL	1	EA	100.00	100.00
5	1/2" WIDE STALL	1	EA	100.00	100.00
6	1/2" WIDE STALL	1	EA	100.00	100.00
7	1/2" WIDE STALL	1	EA	100.00	100.00
8	1/2" WIDE STALL	1	EA	100.00	100.00
9	1/2" WIDE STALL	1	EA	100.00	100.00
10	1/2" WIDE STALL	1	EA	100.00	100.00

NOTE: FLOORING REQUIREMENTS FOR THIS PROJECT ARE AS FOLLOWS:
RESIDENTIAL USE: 1/2" WIDE STALLS
COMMERCIAL USE: 1/2" WIDE STALLS
INDUSTRIAL USE: 1/2" WIDE STALLS
OFFICE USE: 1/2" WIDE STALLS
RETAIL USE: 1/2" WIDE STALLS
RESTAURANT USE: 1/2" WIDE STALLS
HOTEL USE: 1/2" WIDE STALLS
SCHOOL USE: 1/2" WIDE STALLS
GOVERNMENT USE: 1/2" WIDE STALLS
MILITARY USE: 1/2" WIDE STALLS
OTHER USE: 1/2" WIDE STALLS

PAVING COUNT (CONTINUED)

LINE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	PAVING	1	EA	100.00	100.00
2	PAVING	1	EA	100.00	100.00
3	PAVING	1	EA	100.00	100.00
4	PAVING	1	EA	100.00	100.00
5	PAVING	1	EA	100.00	100.00
6	PAVING	1	EA	100.00	100.00
7	PAVING	1	EA	100.00	100.00
8	PAVING	1	EA	100.00	100.00
9	PAVING	1	EA	100.00	100.00
10	PAVING	1	EA	100.00	100.00

PAVING COUNT (CONTINUED) - ALL PHASES

LINE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	PAVING	1	EA	100.00	100.00
2	PAVING	1	EA	100.00	100.00
3	PAVING	1	EA	100.00	100.00
4	PAVING	1	EA	100.00	100.00
5	PAVING	1	EA	100.00	100.00
6	PAVING	1	EA	100.00	100.00
7	PAVING	1	EA	100.00	100.00
8	PAVING	1	EA	100.00	100.00
9	PAVING	1	EA	100.00	100.00
10	PAVING	1	EA	100.00	100.00

PAVING COUNT (CONTINUED) - ALL PHASES

LINE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	PAVING	1	EA	100.00	100.00
2	PAVING	1	EA	100.00	100.00
3	PAVING	1	EA	100.00	100.00
4	PAVING	1	EA	100.00	100.00
5	PAVING	1	EA	100.00	100.00
6	PAVING	1	EA	100.00	100.00
7	PAVING	1	EA	100.00	100.00
8	PAVING	1	EA	100.00	100.00
9	PAVING	1	EA	100.00	100.00
10	PAVING	1	EA	100.00	100.00

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS OF THE EXISTING STRUCTURE PRIOR TO ANY NEW WORK CONSTRUCTION.
2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE EXISTING STRUCTURE PRIOR TO ANY NEW WORK CONSTRUCTION.
3. ALL DIMENSIONS SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
4. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
5. DIMENSIONS AND LOCATIONS SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
6. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
7. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
8. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
9. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
10. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
11. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
12. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.
13. THE DIMENSIONS INDICATED LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION SHALL BE TO THE FACE OF THE MEMBER UNLESS OTHERWISE NOTED.



Solomon Cordwell Buenz
Chicago
T 312.286.1100
San Francisco
T 415.212.2452
www.scb.com

SHEET NOTES

LEGEND

EXISTING WALL TO REMAIN
NEW INTERIOR WALL

NO.	DATE	DESCRIPTION
1	10/1/2020	ISSUED FOR PERMIT
2	10/1/2020	ISSUED FOR PERMIT
3	10/1/2020	ISSUED FOR PERMIT
4	10/1/2020	ISSUED FOR PERMIT
5	10/1/2020	ISSUED FOR PERMIT
6	10/1/2020	ISSUED FOR PERMIT
7	10/1/2020	ISSUED FOR PERMIT
8	10/1/2020	ISSUED FOR PERMIT
9	10/1/2020	ISSUED FOR PERMIT
10	10/1/2020	ISSUED FOR PERMIT

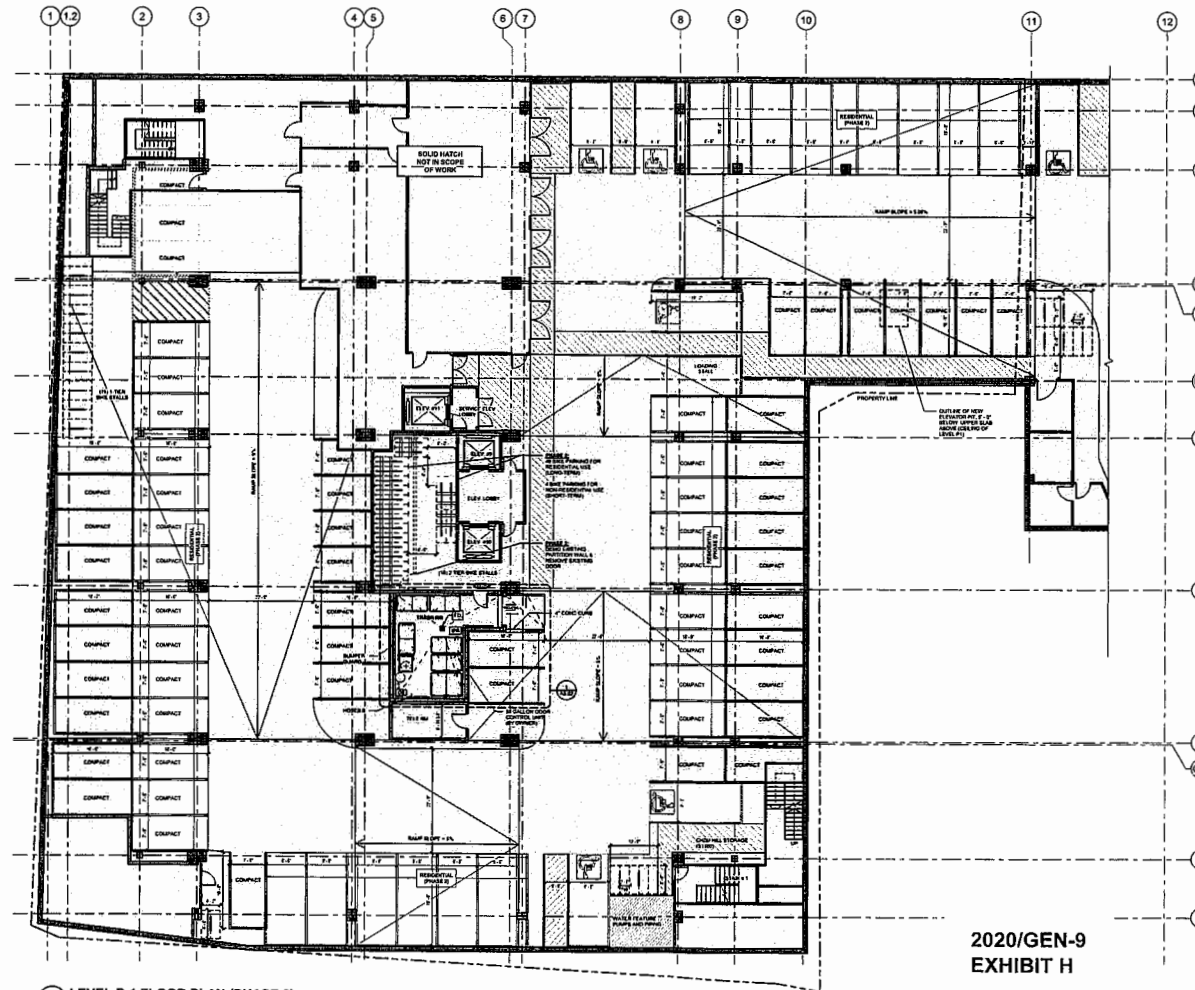
1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

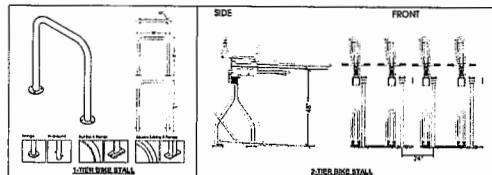
LEVEL P-5 FLOOR
PLAN (PHASE 2) -
FOR REFERENCE
ONLY

Drawn By:
Author:
Checked By:
Checker:
Project Number:
2018030

Sheet Number:
A2-P5



1 LEVEL P-1 FLOOR PLAN (PHASE 2)
SCALE: 1/8" = 1'-0"



P-1 FLOOR PLAN COUNT (ALL PHASES)

Room	Area (sq. ft.)	Volume (cu. ft.)	Weight (lb.)	Notes
Level 1	10,000	10,000	10,000	
Level 2	10,000	10,000	10,000	
Level 3	10,000	10,000	10,000	
Level 4	10,000	10,000	10,000	
Level 5	10,000	10,000	10,000	
Level 6	10,000	10,000	10,000	
Level 7	10,000	10,000	10,000	
Level 8	10,000	10,000	10,000	
Level 9	10,000	10,000	10,000	
Level 10	10,000	10,000	10,000	
Level 11	10,000	10,000	10,000	
Level 12	10,000	10,000	10,000	
Level 13	10,000	10,000	10,000	
Level 14	10,000	10,000	10,000	
Level 15	10,000	10,000	10,000	
Level 16	10,000	10,000	10,000	
Level 17	10,000	10,000	10,000	
Level 18	10,000	10,000	10,000	
Level 19	10,000	10,000	10,000	
Level 20	10,000	10,000	10,000	

NOT FURNISHED RECOMMENDATIONS FOR USE ONLY. (1) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (2) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (3) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (4) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (5) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (6) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (7) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (8) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (9) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (10) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (11) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (12) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (13) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (14) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (15) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (16) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (17) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (18) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (19) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (20) 1.00% RAISED FLOOR 1.00%

P-1 FLOOR PLAN COUNT (PHASE 2)

Room	Area (sq. ft.)	Volume (cu. ft.)	Weight (lb.)	Notes
Level 1	10,000	10,000	10,000	
Level 2	10,000	10,000	10,000	
Level 3	10,000	10,000	10,000	
Level 4	10,000	10,000	10,000	
Level 5	10,000	10,000	10,000	
Level 6	10,000	10,000	10,000	
Level 7	10,000	10,000	10,000	
Level 8	10,000	10,000	10,000	
Level 9	10,000	10,000	10,000	
Level 10	10,000	10,000	10,000	
Level 11	10,000	10,000	10,000	
Level 12	10,000	10,000	10,000	
Level 13	10,000	10,000	10,000	
Level 14	10,000	10,000	10,000	
Level 15	10,000	10,000	10,000	
Level 16	10,000	10,000	10,000	
Level 17	10,000	10,000	10,000	
Level 18	10,000	10,000	10,000	
Level 19	10,000	10,000	10,000	
Level 20	10,000	10,000	10,000	

P-1 FLOOR PLAN COUNT (PHASE 2)

NOT FURNISHED RECOMMENDATIONS FOR USE ONLY. (1) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (2) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (3) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (4) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (5) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (6) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (7) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (8) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (9) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (10) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (11) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (12) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (13) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (14) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (15) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (16) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (17) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (18) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (19) 1.00% RAISED FLOOR 1.00%
RECOMMENDATIONS FOR USE ONLY. (20) 1.00% RAISED FLOOR 1.00%

GENERAL NOTES

- GENERAL CONTRACTOR SHALL CONFIRM AND VERIFY ALL EXISTING CONDITIONS AND CONDITIONS AFTER THE DEMOLITION OF EXISTING STRUCTURE PRIOR TO ANY NEW WORK OR REPAIR.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES FOUND.
- PLAN/SECTION/DETAIL USE 1/8" = 1'-0" UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS AND MATERIALS OF EXISTING STRUCTURE. THE CONTRACTOR SHALL VERIFY THE EXISTING STRUCTURE AND MAKE ANY NECESSARY REPAIRS OR REINFORCEMENTS PRIOR TO ANY NEW WORK OR REPAIR.
- DEMOLITION OF EXISTING STRUCTURE SHALL BE TO THE EXTERIOR FACE OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES FOUND.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

SHEET NOTES

- SEE EXISTING OF THE NEW SCOPE OF WORK ON LEVEL P-1 REVISIONS.
- EXISTING AND NEW FLOORING SHALL BE SHOWN WITH A LONG TERM NON-RESIDENTIAL USE.

LEGEND

- EXISTING WALL TO REMAIN
- NEW EXTERIOR WALL

SCB
Solomon Contract Bureau
Chicago
T 312.866.1100
San Francisco
T 415.242.4450
www.scb.com

NO.	DATE	DESCRIPTION
1	01/15/2020	ISSUED FOR PERMIT
2	01/15/2020	ISSUED FOR PERMIT
3	01/15/2020	ISSUED FOR PERMIT
4	01/15/2020	ISSUED FOR PERMIT
5	01/15/2020	ISSUED FOR PERMIT
6	01/15/2020	ISSUED FOR PERMIT
7	01/15/2020	ISSUED FOR PERMIT
8	01/15/2020	ISSUED FOR PERMIT
9	01/15/2020	ISSUED FOR PERMIT
10	01/15/2020	ISSUED FOR PERMIT
11	01/15/2020	ISSUED FOR PERMIT
12	01/15/2020	ISSUED FOR PERMIT
13	01/15/2020	ISSUED FOR PERMIT
14	01/15/2020	ISSUED FOR PERMIT
15	01/15/2020	ISSUED FOR PERMIT
16	01/15/2020	ISSUED FOR PERMIT
17	01/15/2020	ISSUED FOR PERMIT
18	01/15/2020	ISSUED FOR PERMIT
19	01/15/2020	ISSUED FOR PERMIT
20	01/15/2020	ISSUED FOR PERMIT

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2019 Solomon Contract Bureau
LEVEL P-1 FLOOR
PLAN (PHASE 2)

Drawn By:
Author
Checked By:
Checker
Project Number:
2018030


Sheet Number:
A2-P1

[illegible]

LEGEND

EXISTING WALL TO REMAIN

NEW INTERIOR WALL



Solomon Cordwell
Chicago
T 312.896.1100
San Francisco
T 415.218.2450
www.scb.com

**Douglas
Ernst** Douglas Ernst, Inc.

[illegible]

1132 Bishop Street

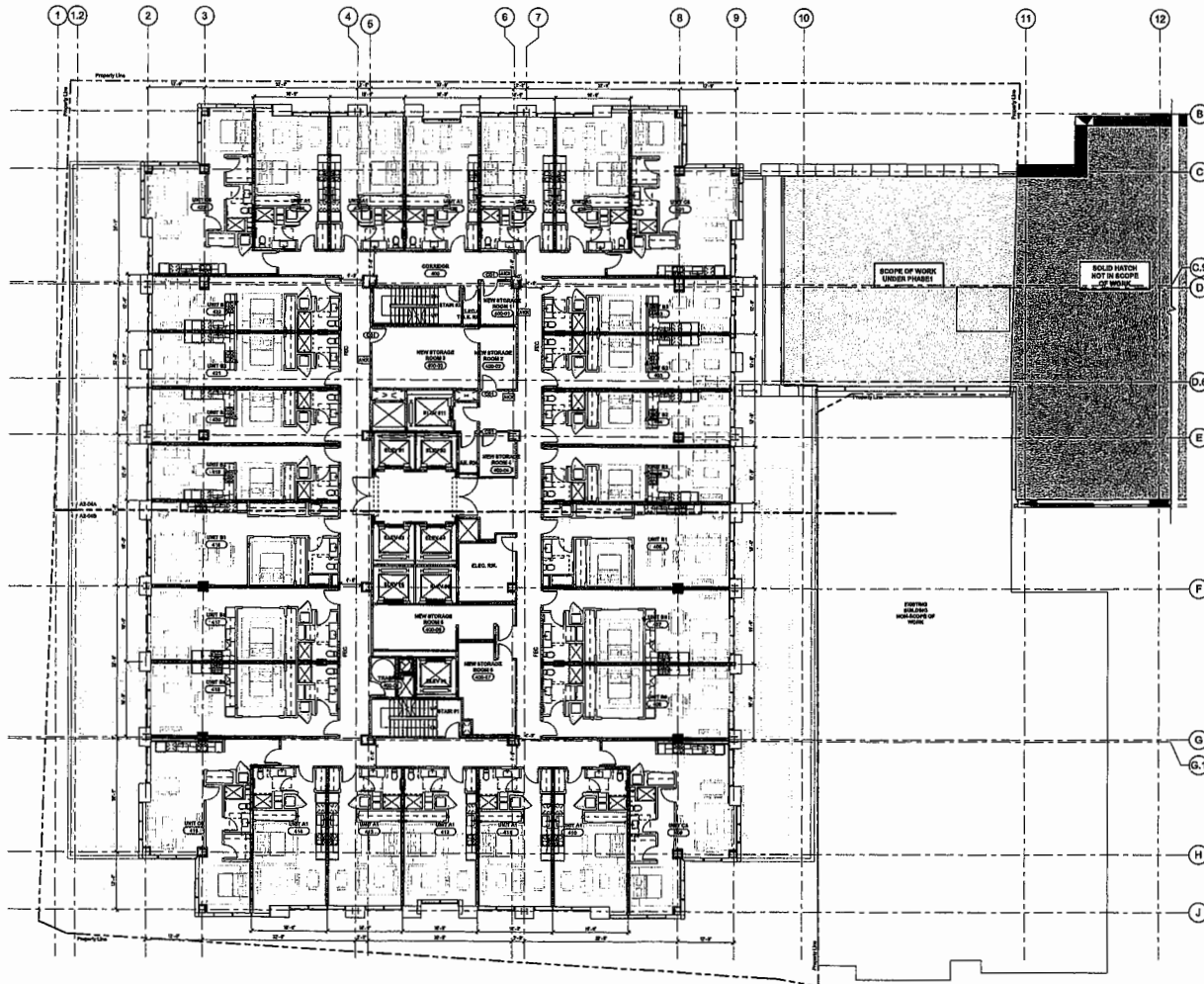
1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2013 Kaimanui Consulting Group

**LEVEL 2 FLOOR
PLAN**

Drawn By:
Author
Checked By:
Checker
Project Number:
2018030

Sheet Number

A2-02



1 LEVEL 4 FLOOR PLAN (PHASE 2)
SCALE: 1/8" = 1'-0"

2020/GEN-9
EXHIBIT M

1. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
2. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
3. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
4. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
5. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
6. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
7. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
8. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
9. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
10. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
11. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.
12. THE GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY AND COMPLETION OF ANY EXISTING RECORD DRAWINGS PROVIDED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN FRANCISCO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.

LEGEND:

- EXISTING EXTERIOR WALLS
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO REMOVE
- SCOPE OF WORK UNDER PHASE 1

SCB
Solomon Cordwell Buenz
Chicago
T 312.296.1100
San Francisco
T 415.318.2400
www.scb.com

Author	
Checker	
Project Manager	
Design	
Construction	
Interior	
Exterior	
MEP	
Structural	
Transportation	
Water	
Waste	
Energy	
Other	

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

LEVEL 4 FLOOR
PLAN (PHASE 2)

Drawn By:
Author:
Checked By:
Project Manager:
2018030

Sheet Number:
A2-04



1. NEW REPLACEMENT WINDOWS IN THE LATEST PHASE ARE BROWN TARGED AND SINGLED, SEE LIFTING AND SHOOTER SCHEDULES FOR LOCATION.
2. WEIGHT OF NEW WINDOWS SHALL BE PERIOD VERIFIED FROM INSTALLATION WITH DETAILED PLAN/SECTIONATIONS.
3. STRUCTURAL SUPPORT REQUIREMENTS PER CALCULATED DESIGN, SHALL BE SATISFIED FOR THE NEW WINDOWS CAN BE SECURED WITHIN THE EXISTING WINDOW FRAMES.
4. FULL DETECTION OF FINISH WINDOW OR GLASS SHALL BE PROVIDED FOR SHOWER AND THRESHOLD AND ATTACHMENT SHALL BE LOCKED ORGANOATED THEREIN.
5. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE CLIENT THE NEED FOR A FIELD WATER PROTECT OF THE EXISTING WINDOW FINISH TO A MINIMUM OF 100 CM FROM THE WINDOW FINISH BEFORE THE INSTALLATION OF THE NEW WINDOWS ON THE EXTERIOR OF THE BUILDING.
6. ALL NEW WINDOWS SHALL BE FIELD WATER TESTED ONCE BEFORE TO A MINIMUM OF 100 CM FROM THE WINDOW FINISH. THIS TEST SHALL BE CONDUCTED BY A CERTIFIED TOP PARTY.



Solomon Cordwell Buenz
Chicago
T 312.898.1100
San Francisco
T 415.216.2450
www.scb.com

LEGEND:

 WINDOW TAG

CURRENT PHASE NEW WINDOWS / 8100/27000 SYSTEM

Douglas Emmett Douglas Emmett, Inc.

[illegible]

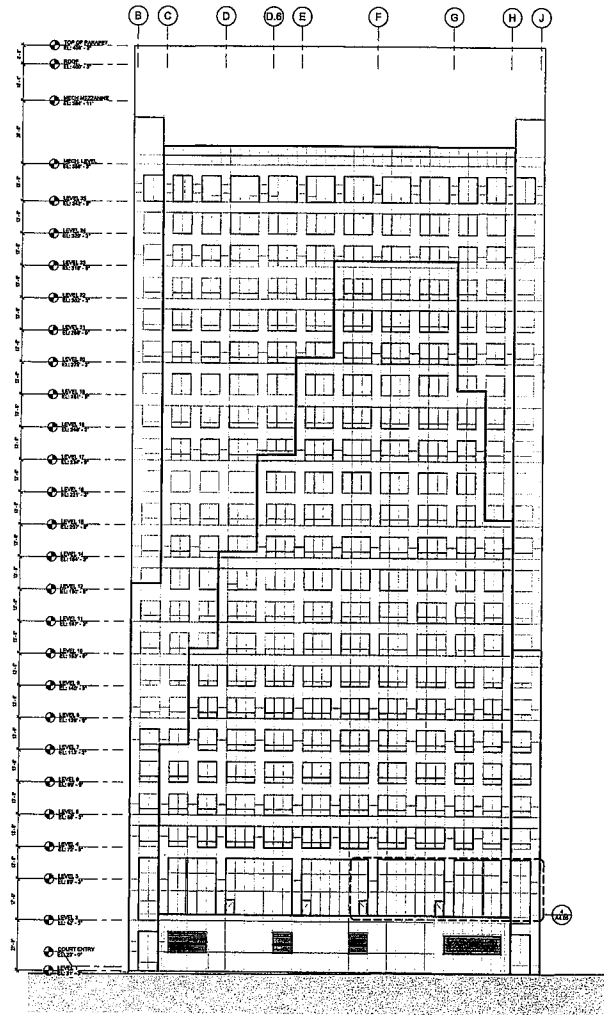
1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

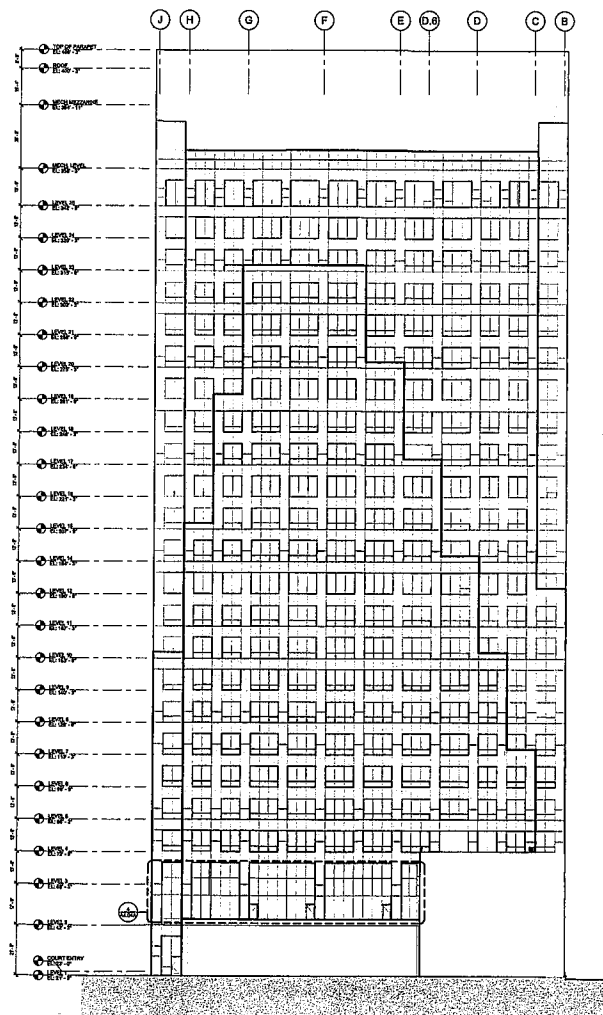
**BUILDING
ELEVATIONS -
SOUTH**

Drawn By:
AK
Checked By:
MSMM
Project Number:
2018030

Sheet Number:
A3-02



2 BUILDING ELEVATION - WEST (PHASE 1A)
SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION - EAST (PHASE 1A)
SCALE: 1/8" = 1'-0"

2020/GEN-9
EXHIBIT P

1. NEW REPLACEMENT WINDOWS IN THE LATEST PHASE ARE SHOWN WITH DASHED LINES AND SHOWN WITH LEGEND AND WINDOW SCHEDULES ON SHEET.
2. LOCATION OF NEW WINDOWS SHALL BE FIELD VERIFIED FROM INSTALLATION WITH CONSULT FOR PHASE 1A ONLY.
3. STRUCTURAL SUPPORT REQUIREMENTS FOR NEW WINDOW SCHEDULES SHALL BE PROVIDED UNDER THE NEW WINDOW CASES BEFORE THE EXISTING WINDOW FRAME.
4. FINAL DETERMINATION OF WINDOW WINDOW OR MALLON REQUIREMENTS FOR NEW, SHOWN AND THUS FAR AND ATTACHED SHALL BE BY CONTRACTOR AND THE OWNER.
5. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE CLIENT TO FIELD TEST THE NEW WINDOW OF THE EXISTING WINDOW SYSTEMS TO DETERMINE THE QUALITY OF WORK REQUIRED BEFORE THE INSTALLATION OF THE NEW WINDOWS ON THE EXISTING OF THE BUILDING.
6. ALL NEW WINDOWS SHALL BE FIELD WATER TESTED ONCE INSTALLED TO ACHIEVE LEAK RATE REQUIREMENTS. THE TEST SHALL BE CONDUCTED BY A CERTIFIED THIRD PARTY.

LEGEND:

- WINDOW TAG
- CURRENT PHASE NEW WINDOW / STOREFRONT SYSTEM



Solomon Cordwell Buenes
Chicago
T 312.896.1100
San Francisco
T 415.215.2450
www.scb.com

NO.	DATE	DESCRIPTION
1	01/11/2020	ISSUED FOR PERMITTING
2	02/11/2020	ISSUED FOR PERMITTING
3	03/11/2020	ISSUED FOR PERMITTING
4	04/11/2020	ISSUED FOR PERMITTING
5	05/11/2020	ISSUED FOR PERMITTING
6	06/11/2020	ISSUED FOR PERMITTING
7	07/11/2020	ISSUED FOR PERMITTING
8	08/11/2020	ISSUED FOR PERMITTING
9	09/11/2020	ISSUED FOR PERMITTING
10	10/11/2020	ISSUED FOR PERMITTING
11	11/11/2020	ISSUED FOR PERMITTING
12	12/11/2020	ISSUED FOR PERMITTING
13	01/12/2020	ISSUED FOR PERMITTING
14	02/12/2020	ISSUED FOR PERMITTING
15	03/12/2020	ISSUED FOR PERMITTING
16	04/12/2020	ISSUED FOR PERMITTING
17	05/12/2020	ISSUED FOR PERMITTING
18	06/12/2020	ISSUED FOR PERMITTING
19	07/12/2020	ISSUED FOR PERMITTING
20	08/12/2020	ISSUED FOR PERMITTING
21	09/12/2020	ISSUED FOR PERMITTING
22	10/12/2020	ISSUED FOR PERMITTING
23	11/12/2020	ISSUED FOR PERMITTING
24	12/12/2020	ISSUED FOR PERMITTING
25	01/01/2021	ISSUED FOR PERMITTING
26	02/01/2021	ISSUED FOR PERMITTING
27	03/01/2021	ISSUED FOR PERMITTING
28	04/01/2021	ISSUED FOR PERMITTING
29	05/01/2021	ISSUED FOR PERMITTING
30	06/01/2021	ISSUED FOR PERMITTING
31	07/01/2021	ISSUED FOR PERMITTING
32	08/01/2021	ISSUED FOR PERMITTING
33	09/01/2021	ISSUED FOR PERMITTING
34	10/01/2021	ISSUED FOR PERMITTING
35	11/01/2021	ISSUED FOR PERMITTING
36	12/01/2021	ISSUED FOR PERMITTING
37	01/02/2022	ISSUED FOR PERMITTING
38	02/02/2022	ISSUED FOR PERMITTING
39	03/02/2022	ISSUED FOR PERMITTING
40	04/02/2022	ISSUED FOR PERMITTING
41	05/02/2022	ISSUED FOR PERMITTING
42	06/02/2022	ISSUED FOR PERMITTING
43	07/02/2022	ISSUED FOR PERMITTING
44	08/02/2022	ISSUED FOR PERMITTING
45	09/02/2022	ISSUED FOR PERMITTING
46	10/02/2022	ISSUED FOR PERMITTING
47	11/02/2022	ISSUED FOR PERMITTING
48	12/02/2022	ISSUED FOR PERMITTING
49	01/03/2023	ISSUED FOR PERMITTING
50	02/03/2023	ISSUED FOR PERMITTING
51	03/03/2023	ISSUED FOR PERMITTING
52	04/03/2023	ISSUED FOR PERMITTING
53	05/03/2023	ISSUED FOR PERMITTING
54	06/03/2023	ISSUED FOR PERMITTING
55	07/03/2023	ISSUED FOR PERMITTING
56	08/03/2023	ISSUED FOR PERMITTING
57	09/03/2023	ISSUED FOR PERMITTING
58	10/03/2023	ISSUED FOR PERMITTING
59	11/03/2023	ISSUED FOR PERMITTING
60	12/03/2023	ISSUED FOR PERMITTING
61	01/04/2024	ISSUED FOR PERMITTING
62	02/04/2024	ISSUED FOR PERMITTING
63	03/04/2024	ISSUED FOR PERMITTING
64	04/04/2024	ISSUED FOR PERMITTING
65	05/04/2024	ISSUED FOR PERMITTING
66	06/04/2024	ISSUED FOR PERMITTING
67	07/04/2024	ISSUED FOR PERMITTING
68	08/04/2024	ISSUED FOR PERMITTING
69	09/04/2024	ISSUED FOR PERMITTING
70	10/04/2024	ISSUED FOR PERMITTING
71	11/04/2024	ISSUED FOR PERMITTING
72	12/04/2024	ISSUED FOR PERMITTING
73	01/05/2025	ISSUED FOR PERMITTING
74	02/05/2025	ISSUED FOR PERMITTING
75	03/05/2025	ISSUED FOR PERMITTING
76	04/05/2025	ISSUED FOR PERMITTING
77	05/05/2025	ISSUED FOR PERMITTING
78	06/05/2025	ISSUED FOR PERMITTING
79	07/05/2025	ISSUED FOR PERMITTING
80	08/05/2025	ISSUED FOR PERMITTING
81	09/05/2025	ISSUED FOR PERMITTING
82	10/05/2025	ISSUED FOR PERMITTING
83	11/05/2025	ISSUED FOR PERMITTING
84	12/05/2025	ISSUED FOR PERMITTING
85	01/06/2026	ISSUED FOR PERMITTING
86	02/06/2026	ISSUED FOR PERMITTING
87	03/06/2026	ISSUED FOR PERMITTING
88	04/06/2026	ISSUED FOR PERMITTING
89	05/06/2026	ISSUED FOR PERMITTING
90	06/06/2026	ISSUED FOR PERMITTING
91	07/06/2026	ISSUED FOR PERMITTING
92	08/06/2026	ISSUED FOR PERMITTING
93	09/06/2026	ISSUED FOR PERMITTING
94	10/06/2026	ISSUED FOR PERMITTING
95	11/06/2026	ISSUED FOR PERMITTING
96	12/06/2026	ISSUED FOR PERMITTING
97	01/07/2027	ISSUED FOR PERMITTING
98	02/07/2027	ISSUED FOR PERMITTING
99	03/07/2027	ISSUED FOR PERMITTING
100	04/07/2027	ISSUED FOR PERMITTING

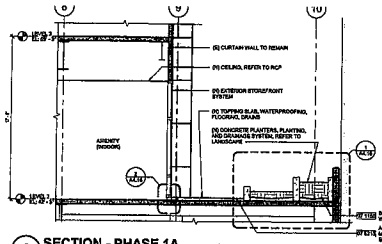
1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2019 Solomon Cordwell Buenes

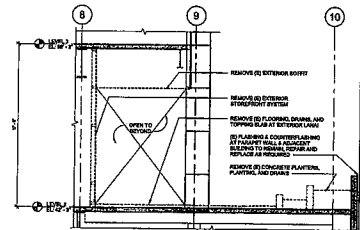
BUILDING
ELEVATIONS - EAST
& WEST

Drawn By:
AK
Checked By:
MAM
Project Number:
2018030

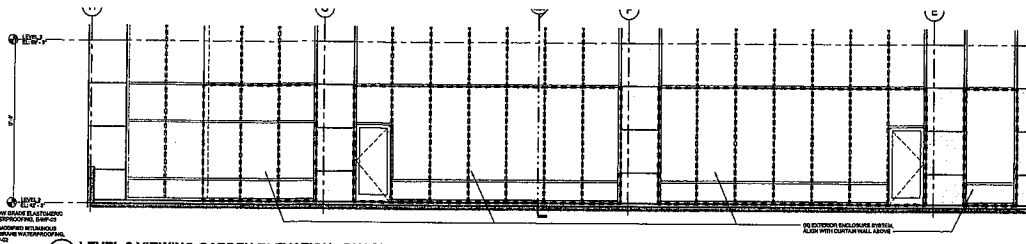
Sheet Number:
A3-03



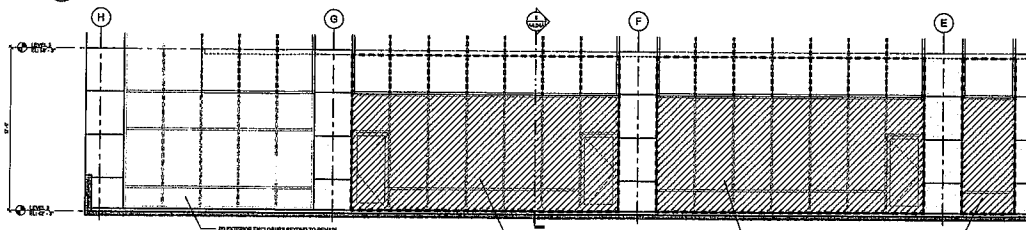
6 SECTION - PHASE 1A
SCALE: 1/8" = 1'-0"



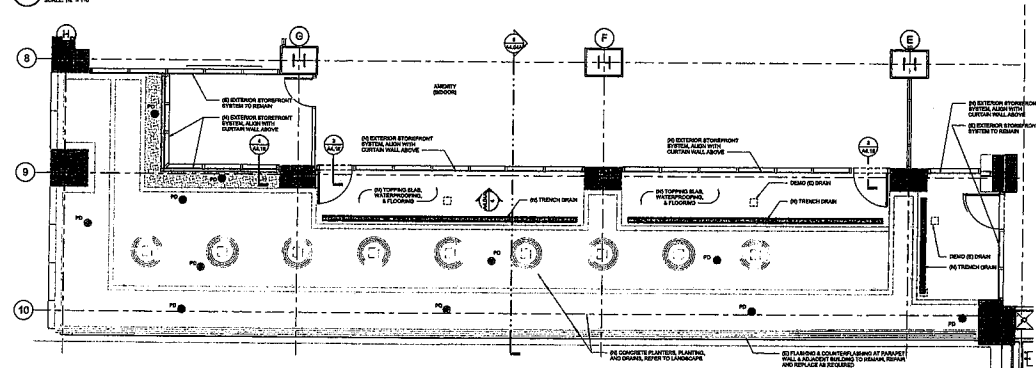
5 SECTION - DEMOLITION
SCALE: 1/8" = 1'-0"



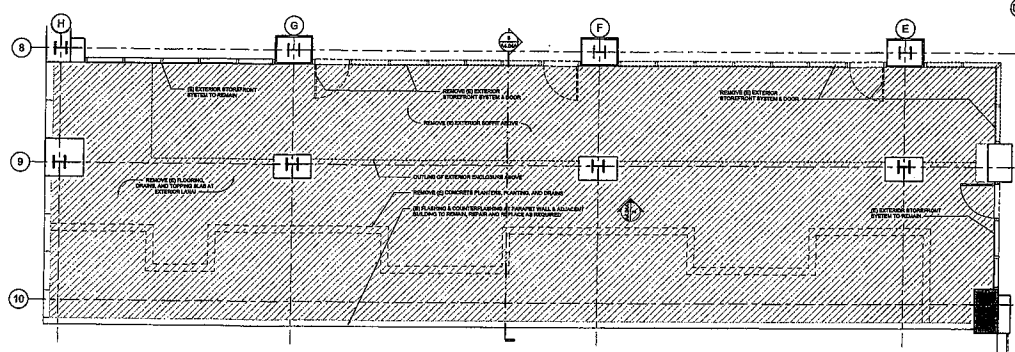
4 LEVEL 2 VIEWING GARDEN ELEVATION - PHASE 1A
SCALE: 1/8" = 1'-0"



3 LEVEL 2 VIEWING GARDEN ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



2 PARTIAL FLOOR PLAN @ LEVEL 2 VIEWING GARDEN - PHASE 1A
SCALE: 1/8" = 1'-0"



1 PARTIAL FLOOR PLAN @ LEVEL 2 VIEWING GARDEN - DEMOLITION
SCALE: 1/8" = 1'-0"

2020/GEN-9
EXHIBIT Q



Southern Construction Bureau
Chicago
T 312.898.1100
San Francisco
T 415.232.2450
www.scb.com

Douglas
Fitzgerald

NO.	DATE	DESCRIPTION
1	01/11/2020	ISSUED FOR PERMIT
2	01/11/2020	ISSUED FOR PERMIT
3	01/11/2020	ISSUED FOR PERMIT
4	01/11/2020	ISSUED FOR PERMIT
5	01/11/2020	ISSUED FOR PERMIT
6	01/11/2020	ISSUED FOR PERMIT
7	01/11/2020	ISSUED FOR PERMIT
8	01/11/2020	ISSUED FOR PERMIT
9	01/11/2020	ISSUED FOR PERMIT
10	01/11/2020	ISSUED FOR PERMIT
11	01/11/2020	ISSUED FOR PERMIT
12	01/11/2020	ISSUED FOR PERMIT
13	01/11/2020	ISSUED FOR PERMIT
14	01/11/2020	ISSUED FOR PERMIT
15	01/11/2020	ISSUED FOR PERMIT
16	01/11/2020	ISSUED FOR PERMIT
17	01/11/2020	ISSUED FOR PERMIT
18	01/11/2020	ISSUED FOR PERMIT
19	01/11/2020	ISSUED FOR PERMIT
20	01/11/2020	ISSUED FOR PERMIT

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HI 96813
2020 Southern Construction Bureau
LEVEL 2 VIEWING GARDEN

Drawn By:
AK
Checked By:
SKW
Project Number:
2018030

Sheet Number:
A4.04A

LEGEND

ROOM NAME
APPROXIMATE S.F.
FURNITURE TAG

NOTE: FURNITURE TO BE COORDINATED WITH FURNITURE DEALER

Douglas Douglas Everett, Jr.

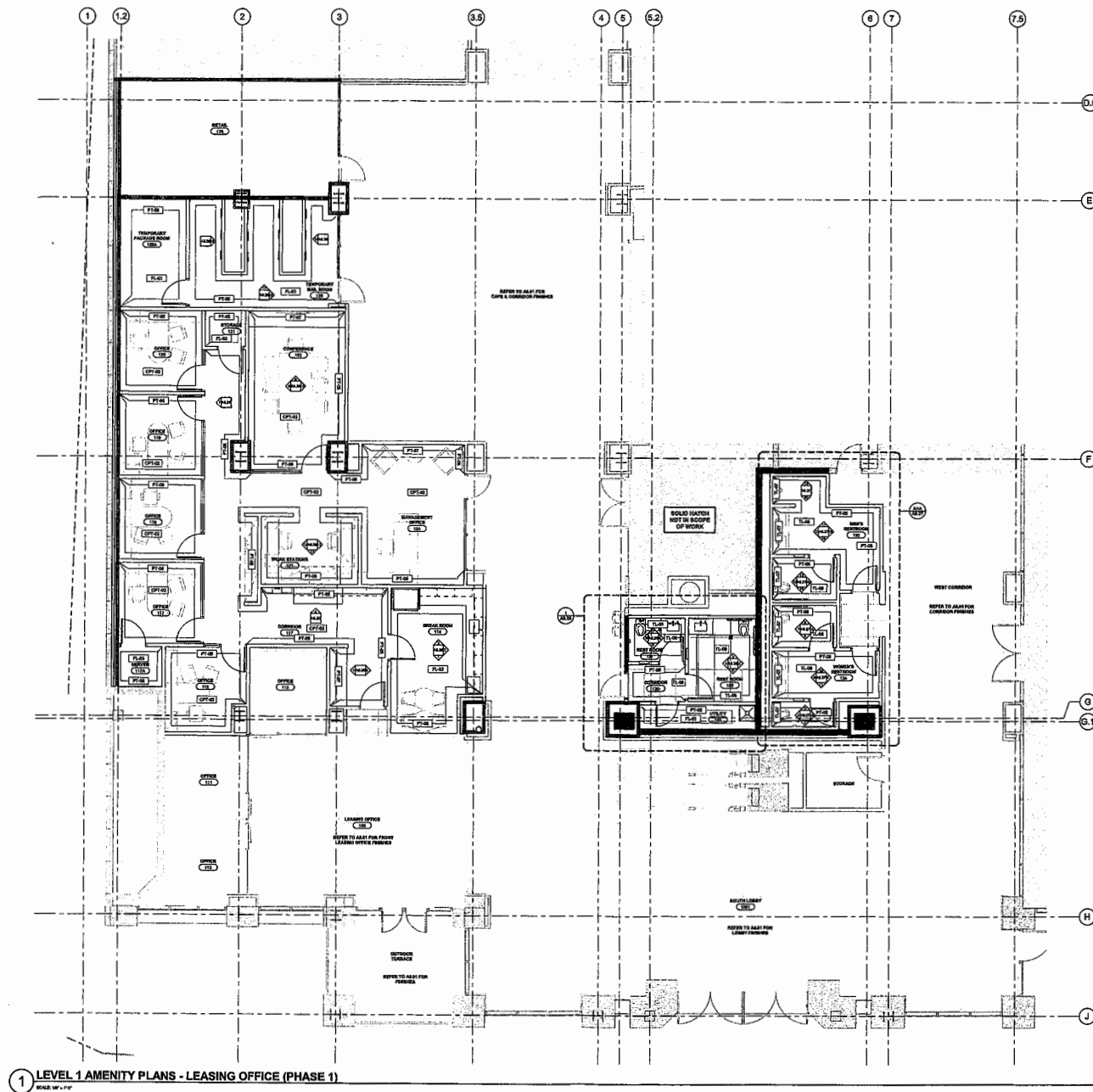
[illegible]

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

**Level 1 Amenity -
Furniture Plan - South
Lobby (Phase 1)**

Drawn By: Author	Sheet Number:
Checked By: Checker	A6.03
Project Number: 05.2502.000	



2020/GEN-9
EXHIBIT S

Douglas Emmett Douglas Emmett, Inc.

[illegible]

1132 Bishop Street

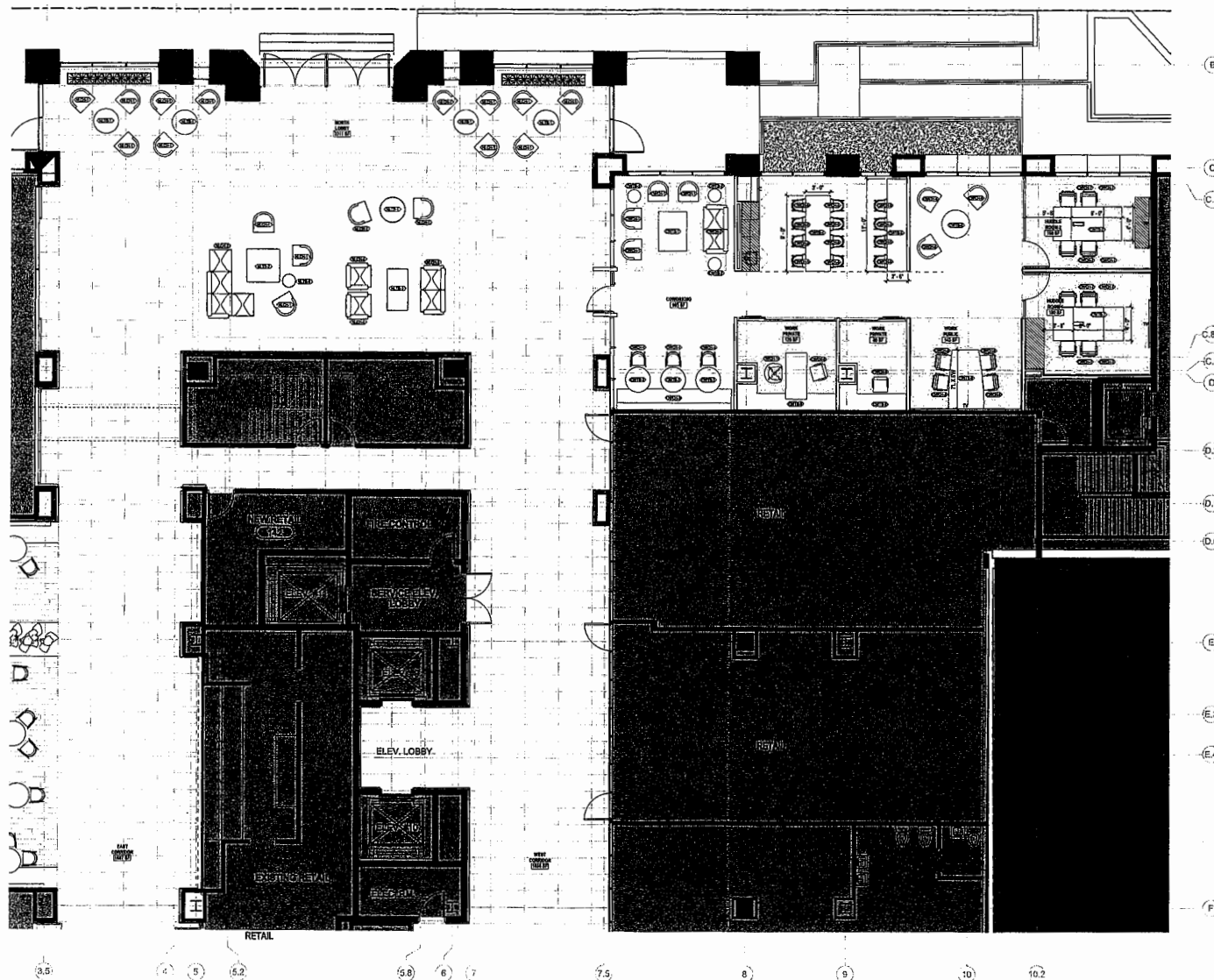
1132 BISHOP STREET,
HONOLULU, HAWAII 96813

**LEVEL 1 AMENITY
FINISH PLAN -
LEASING OFFICE
(PHASE 1)**

Drawn By:
Author
Classified By:
Checker
Project Number:
2018030

Sheet Number:

A6.04



2020/GEN-9
EXHIBIT T



Solomon Cordwell Buenz
Chicago
T 312.398.1100
San Francisco
T 415.218.2450
www.scb.com

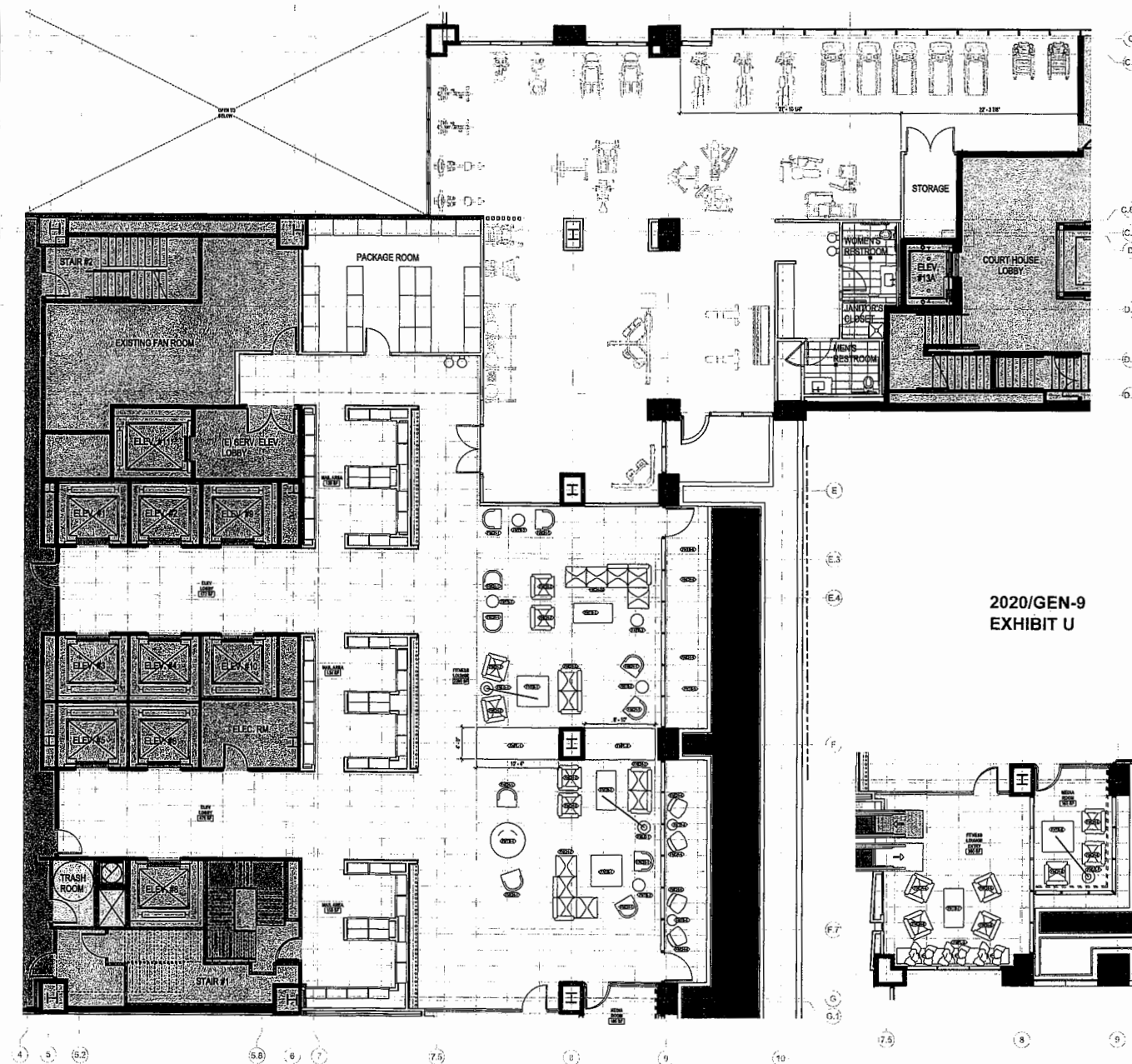
Gensler

20 South Dearborn Street
Los Angeles, California 90021
Tel 213.223.8800
Fax 213.227.3801
www.gensler.com

GENERAL NOTES

LEGEND

2020/GEN-9
EXHIBIT U



1 Level 2_Furniture Plan_Fitness & Lounge (Phase 1A) DD
05.25.02

2 Level 2_Furniture Plan_Lounge South (Phase 1A) DD
05.25.02

Douglas
Emmitt

Douglas Emmitt, Inc.

1. PROJECT INFORMATION	2. REVISIONS
3. CLIENT INFORMATION	4. DESIGN TEAM
5. PROJECT LOCATION	6. PROJECT DESCRIPTION
7. PROJECT PHASE	8. PROJECT STATUS
9. PROJECT BUDGET	10. PROJECT RISK
11. PROJECT SCHEDULE	12. PROJECT CONTACTS
13. PROJECT DOCUMENTS	14. PROJECT DELIVERABLES
15. PROJECT MEETINGS	16. PROJECT DECISIONS
17. PROJECT CHANGES	18. PROJECT COMMENTS
19. PROJECT APPROVALS	20. PROJECT SIGNATURES

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

©2018 Douglas Emmitt, Inc.
Level 2 Amenity -
Furniture Plan -
Fitness & Lounge
(Phase 1A)

Drawn By:
Auditor:
Checked By:
Checker:
Project Number:
05.2502.000

Sheet Number:

A6.17



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

AUTHORIZING EXEMPTIONS FROM CERTAIN REQUIREMENTS RELATING TO THE RESIDENCES AT BISHOP PLACE AFFORDABLE HOUSING PROJECT AT HONOLULU, OAHU, HAWAII, TAX MAP KEYS 2-1-010: 015, 021 TO 024, AND 032.

WHEREAS, the DEG LLC (the "Applicant") proposes to convert an existing 25-story office building into an affordable and market-rate multi-family rental housing project referred to as The Residences at Bishop Place, on 50,680 square feet of land zoned BMX-4 Central Business Mixed Use District, located at 1132 Bishop Street in the Central Business District in Honolulu, and identified by Tax Map Keys 2-1-010: 015, 021 to 024, which is owned by DEG LLC (Douglas Emmett Management) and Tax Map Key 2-1-010: 032, which is owned by Standard Sales Co., as shown generally on the enclosed Exhibits A through U (the "Project"); and

WHEREAS, the Project is a portion of a zoning lot comprised of 12 parcels of land including Tax Map Keys 2-1-010: 011, 013, 017, 039, 041, and 047, pursuant to Conditional Use Permit No. 89/CUP1-19 and the joint development agreement; and

WHEREAS, Zoning Variance No. 96/VAR-53 allowed development on the zoning lot to exceed the density and height limit of the BMX-4 Central Business Mixed Use District to a maximum permitted floor area of 520,230 square feet and a maximum height of 387 feet; and

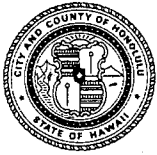
WHEREAS, the Project will consist of 252 affordable rental units (51.1 percent) and 241 market-rate rental units (48.9 percent), recreation amenities, and 321 vehicle parking spaces; and

WHEREAS, Phase 1 consists of 98 units, and Phases 2 and 3 consist of 395 units; and

WHEREAS, the Project's affordable rental units will be available to households earning up to 80 percent and between 80 percent and 120 percent of the area median income ("AMI") for Honolulu, with the majority of apartment rental units available to households earning between 80 and 120 percent AMI; and

WHEREAS, the Project is eligible to receive consideration under the City's rules implementing Section 201H-38 of the Hawaii Revised Statutes (HRS), which require that at least 51 percent of a Project's total units must be available to households earning at or below 120 percent of the AMI; and

WHEREAS, the City Council is empowered and authorized to approve the Project, including exemptions from statutes, ordinances, charter provisions, and rules of



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

any government agency relating to planning, zoning, construction standards for subdivision, development and improvement of land, and the construction of units thereon pursuant to Sections 46-15.1 and 201H-38, HRS; and

WHEREAS, the City Council has reviewed the preliminary plans and specifications for the Project, dated August 2019 and June 12, 2020, prepared by Solomon Cordwell Buenz and R. M. Towill Corporation, and submitted to the Council by the Department of Planning and Permitting (DPP) on _____, by Departmental Communication _____; and

WHEREAS, the Project is consistent with the housing and community development goals and objectives of the City; and

WHEREAS, the granting of the exemptions is necessary for the timely and successful implementation of the Project; and

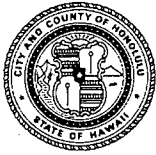
WHEREAS, the Project does not contravene any safety standards, tariffs, or rates and fees approved by the Public Utilities Commission or the Board of Water Supply; and

WHEREAS, the exemptions authorized herein meet the intent of HRS Chapter 201H, and the minimum requirements of health and safety; now, therefore,

BE IT RESOLVED by the City Council of the City and County of Honolulu that it approves the Project, which approval includes exemptions from certain requirements for the Project as set forth in the preliminary Plans and specifications referenced above, as generally identified below (unless otherwise specified, all monetary estimates are based on 493 units), as follows:

Building Permit (BP) Fees:

1. Exemption from Section 18-6.1 of the Revised Ordinances of Honolulu 1990 ("ROH"), to allow an exemption from payment of plan review fees for Phases 2 and 3, estimated at \$37,000.
2. Exemption from ROH Section 18-6.2, to allow an exemption from payment of BP fees for Phases 2 and 3, estimated at \$186,000.



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

Land Use Ordinance ("LUO"):

3. Exemption from LUO Section 21-6.30(d), relating to compact parking spaces, to allow an exemption from the maximum 50 percent compact parking space requirement and to allow 85 percent of the parking spaces to be compact size.
4. Exemption from LUO Section 21-6.30(a) and Table 21-6.2, relating to off-street parking requirements in the BMX-4 Central Business Mixed Use District, to allow the Project to provide a minimum of 124 parking spaces rather than the required 493 parking spaces for the multi-family dwellings, which includes tandem spaces which shall count as one parking space.
5. Exemption from LUO Section 21-6.120(b), relating to the dimensions of loading spaces, to allow exemption from the off-street loading vertical clearance requirement of one loading space.
6. Exemption from LUO Section 21-3.120-2(b) and Table 21-3.4, relating to the Resort, Business and Business Mixed Use Districts development standards, to allow exemptions from the density and height limit of the BMX-4 Central Business Mixed Use District and allow a maximum permitted floor area of 520,730 square feet and a maximum height of 387 feet for the Project.

Park Dedication:

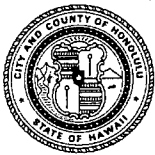
7. Exemption from ROH Section 22, Article 7, to allow exemption from park dedication requirements of approximately 11,185 square feet of private park area and approximately \$291,577 of improvements and amenities.

Fire Department Plan Review Fees:

8. Exemption from ROH Sections 20-1.1(3); and 20-12.8, to allow an exemption from payment of Honolulu Fire Department plan review fees, estimated at \$19,000.

Wastewater System Facility Charge (WSFC):

9. Exemption from ROH Sections 14-10.1 and 14-10.3, to allow the deferral of payment of WSFC, estimated at \$1,191,385, until the issuance of a certificate of occupancy (CO) for the Project.



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

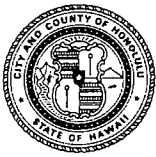
RESOLUTION

Board of Water Supply:

10. Exemption from Sections 1-102, 2-202(2) and 2-202(3) of the Board of Water Supply Rules, to allow the deferral of payment of water system connection charges, estimated at \$112,380 until the issuance of a CO for the Project.

BE IT FURTHER RESOLVED that approval of the foregoing exemptions are subject to the following conditions:

1. Prior to the issuance of a BP for Phase 2 or 3 of the Project, the Applicant must obtain approval of access easements to parking and loading spaces and refuse area over and on Tax Map Key (TMK) 2-1-010: 032 in favor of TMK 2-1-010: 024 from the Department of Planning and Permitting (DPP), and record the access easements at the Bureau of Conveyances.
2. Prior to the issuance of a BP for Phase 2 or 3 of the Project, the Applicant must submit the following for review and approval:
 - A. To the Department of Transportation Services (DTS) and the DPP, a time line or phasing plan of the anticipated dates to obtain development permits for construction work, including the projected date of occupancy, in a format acceptable to the DPP. The time line must identify when the construction management plan (CMP) and the traffic management plan (TMP) will be submitted for review and approval.
 - B. To the DTS and the DPP, a CMP for the Project. The CMP must identify the type, frequency and routing of heavy trucks and construction-related vehicles. The Applicant shall make every effort to minimize impacts from construction vehicles and related construction activities. The CMP should identify and limit construction-related vehicular activity to periods outside of the peak periods of traffic, utilizing alternative routes for heavy trucks, provisions for either on-site or off-site staging areas for construction-related workers and vehicles to limit the use of on-street parking around the Project site, and other mitigation measures related to traffic and potential neighborhood impacts. The Applicant shall document the condition of roadways prior to the start of construction activities and provide remedial measures, as necessary, such as restriping, road resurfacing and/or reconstruction if the condition of the roadways has deteriorated as a result of the related construction activities.



CITY COUNCIL

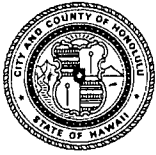
CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

- C. To the DTS and the DPP, a TMP that includes traffic demand management (TDM) strategies to minimize the amount of vehicular trips for daily activities and large events, if any. TDM strategies could include carpooling and ride sharing programs, transit, bicycle and pedestrian incentives and other TDM measures. A pedestrian circulation plan must also be included to provide accessibility and connectivity to the surrounding public sidewalks, including Union Mall, Hotel Street, and Fort Street Mall. A post TMP will be required approximately one year after the issuance of a CO for the Project to validate the relative effectiveness of the various TDM strategies identified in the initial TMP.
- D. To the DPP, confirmation of the following site conditions identified in the Traffic Impact Report at time of application for BPs:
- Maintain sufficient distance for motorists to safely enter and exit all project driveways.
 - Maintain adequate on-site loading and off-loading service areas and prohibit off-site loading operations.
 - Maintain adequate turn-around area for service, delivery, and refuse collection vehicles to maneuver on the Project site to avoid vehicle-reversing maneuvers onto public roadways.
3. Prior to the issuance of any BPs for Phase 2 or 3, the Applicant must execute a development agreement with the DPP that includes terms, conditions, and provisions to facilitate the efficient development and monitoring of the Project, and to ensure the Project's compliance with the requirements of Hawaii Revised Statutes Chapter 201H and the draft Resolution.
4. Prior to the issuance of any BPs for Phase 2 or 3 of the Project, the Applicant must draft and execute an Affordable Housing Agreement with the DPP in accordance with the Affordable Housing Rules, and execute and record a declaration of restrictive covenant that encumbers the site.
5. Subsequent to the adoption of the draft Resolution, the Applicant must request rescission of Zoning Variance File No. 96/VAR-53.

BE IT FURTHER RESOLVED that references to specific statutes, ordinances, or regulations include respective successor statutes, ordinances, or regulations; and



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

BE IT FURTHER RESOLVED that the exemptions granted for the Project are not transferable to any other real property; and

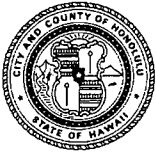
BE IT FURTHER RESOLVED that the final plans and specifications for the Project constitute the zoning, building, and construction standards for the Project and are approved if those plans and specifications do not substantially deviate from the preliminary plans and specifications submitted to the City Council; provided that minor modifications to the design character or specifications of the building or landscaping may be approved by the DPP, if such modifications are consistent with the prevailing neighborhood character; and

BE IT FURTHER RESOLVED that no action may be prosecuted or maintained against the City and County of Honolulu, its officials or employees, on account of actions taken by them in reviewing or approving the plans and specifications, or in granting the exemptions listed herein; and

BE IT FURTHER RESOLVED that the Director of the DPP is authorized to execute and record the development agreement and affordable housing agreement referenced above, pursuant to the terms, conditions, and provisions approved as to form and legality by the Corporation Counsel as being necessary, advisable, or desirable for the purpose of carrying out this resolution; and

BE IT FURTHER RESOLVED that the Director of the DPP is authorized to execute any incidental or related documents to carry out the transactions described above, so long as said documents do not increase either directly or indirectly the financial obligations of the City; and

BE IT FINALLY RESOLVED that copies of this resolution be transmitted to: Kathy K. Sokugawa, Acting Director, Department of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawaii 96813; DEG LLC, c/o Douglas Emmett Management LLC, 1299 Ocean Avenue, Suite 1000, Santa Monica, California 90401-1063; Standard Sales Co., 1254 Center Street, Honolulu, Hawaii 96816; Keith Kurahashi, R. M. Towill Corporation, 2024 North King Street, Suite 200, Honolulu, Hawaii 96819; Bishop Creative, 6264 Seadrift CV, Malibu, California 90265;



CITY COUNCIL

CITY AND COUNTY OF HONOLULU
HONOLULU, HAWAII

No. _____

RESOLUTION

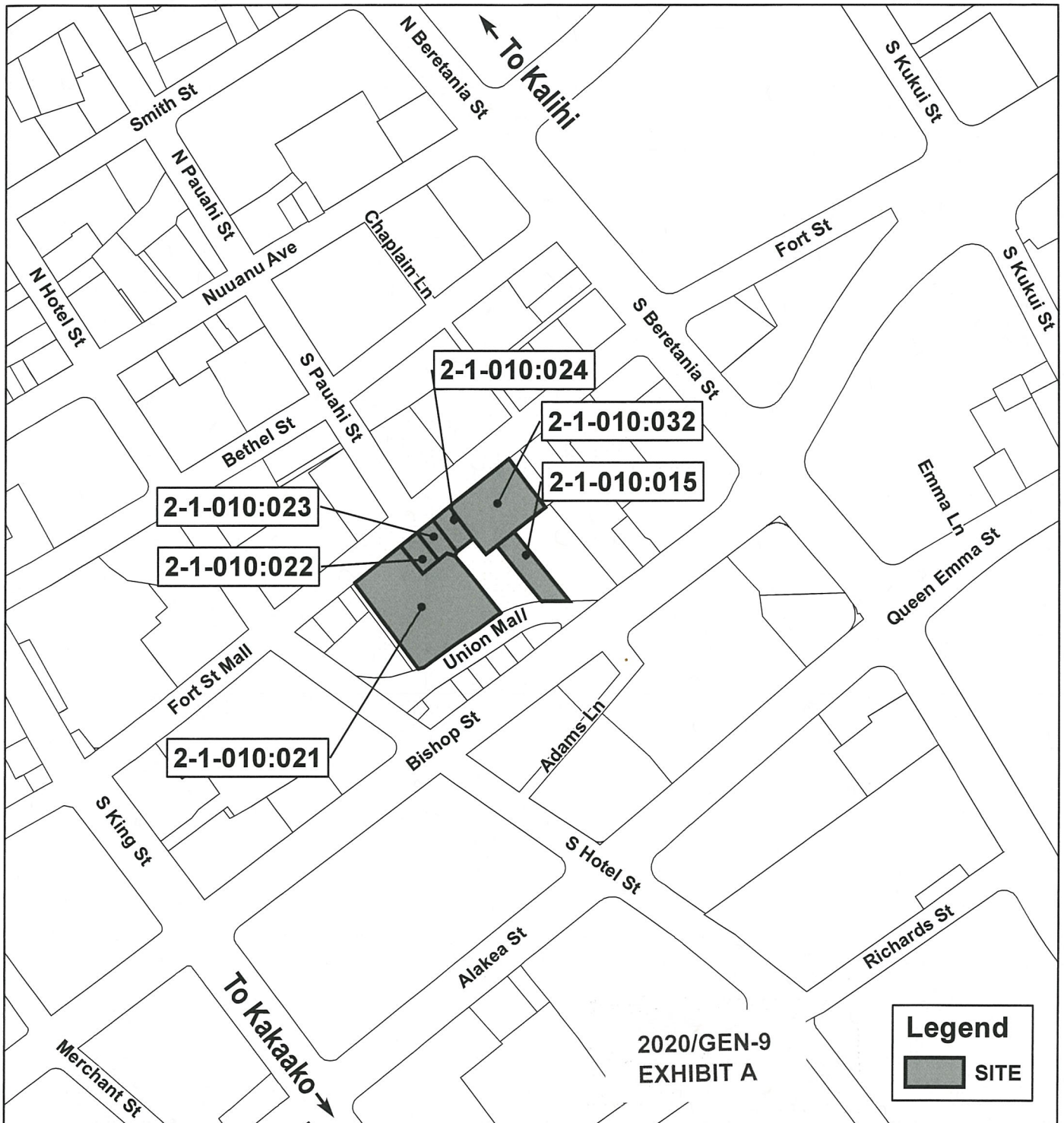
Muriel Damon, 134 Hotel Street, Honolulu, Hawaii 96813; 1111 FSM Partners, 3435 Waialae Avenue, Room 203, Honolulu, Hawaii 96816; Sea Landing LLC, 531 Stanford Avenue, Palo Alto, California 94306; Downtown KT LLC, 1199 Bishop Street, Unit 21B, Honolulu, Hawaii 96813; Michele Nekota, Director, Department of Parks and Recreation, 1000 Uluohia Street, Suite 309, Kapolei, Hawaii 96707.

INTRODUCED BY:

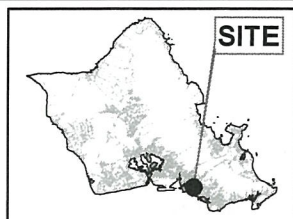
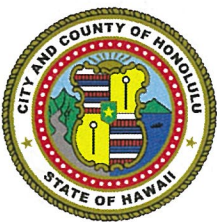
DATE OF INTRODUCTION:

Honolulu, Hawaii

Councilmembers



2020/GEN-9
EXHIBIT A



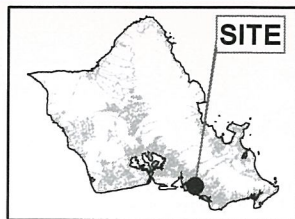
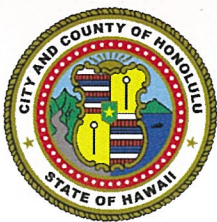
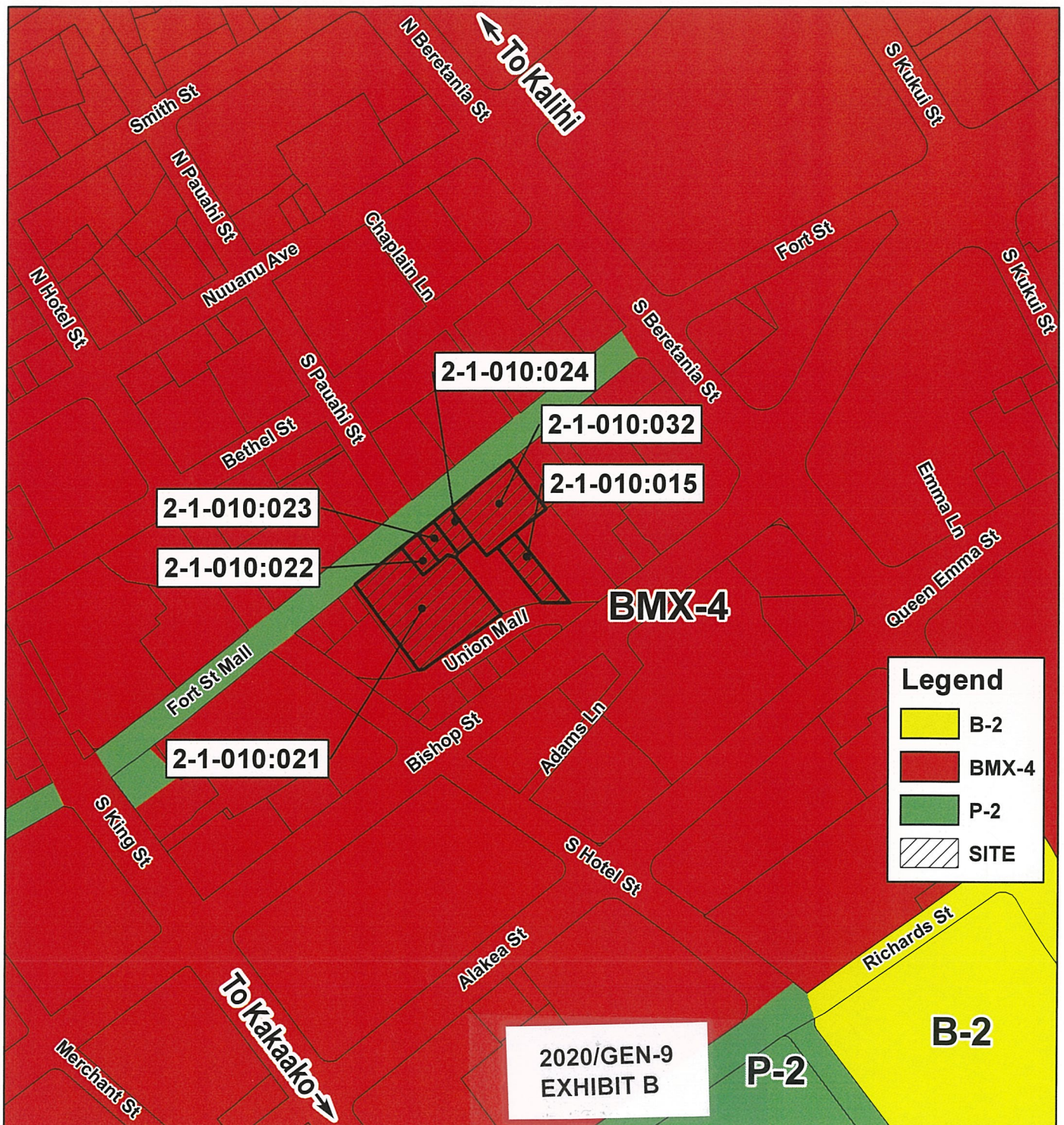
250 125 0 250
1 in = 250 ft



LOCATION MAP HONOLULU - DOWNTOWN

TAX MAP KEY(S): 2-1-010:015/021/022/023/024/032

FOLDER NO.: 2020/GEN-9



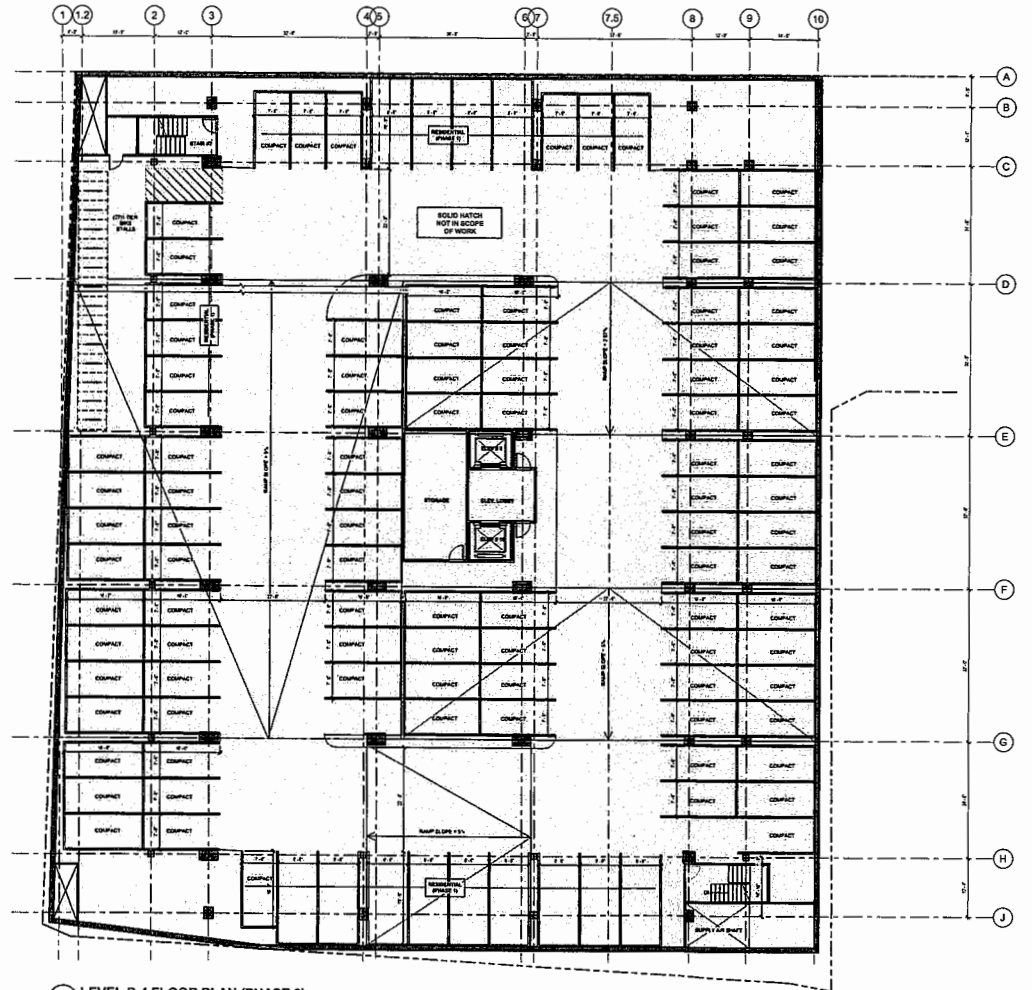
250 125 0 250
1 in = 250 ft



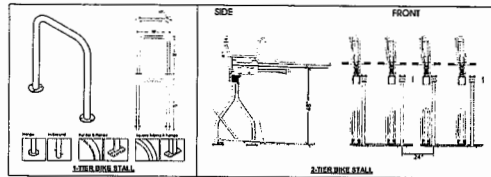
ZONING MAP HONOLULU - DOWNTOWN

TAX MAP KEY(S): 2-1-010:015/021/022/023/024/032

FOLDER NO.: 2020/GEN-9



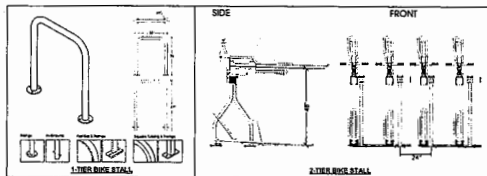
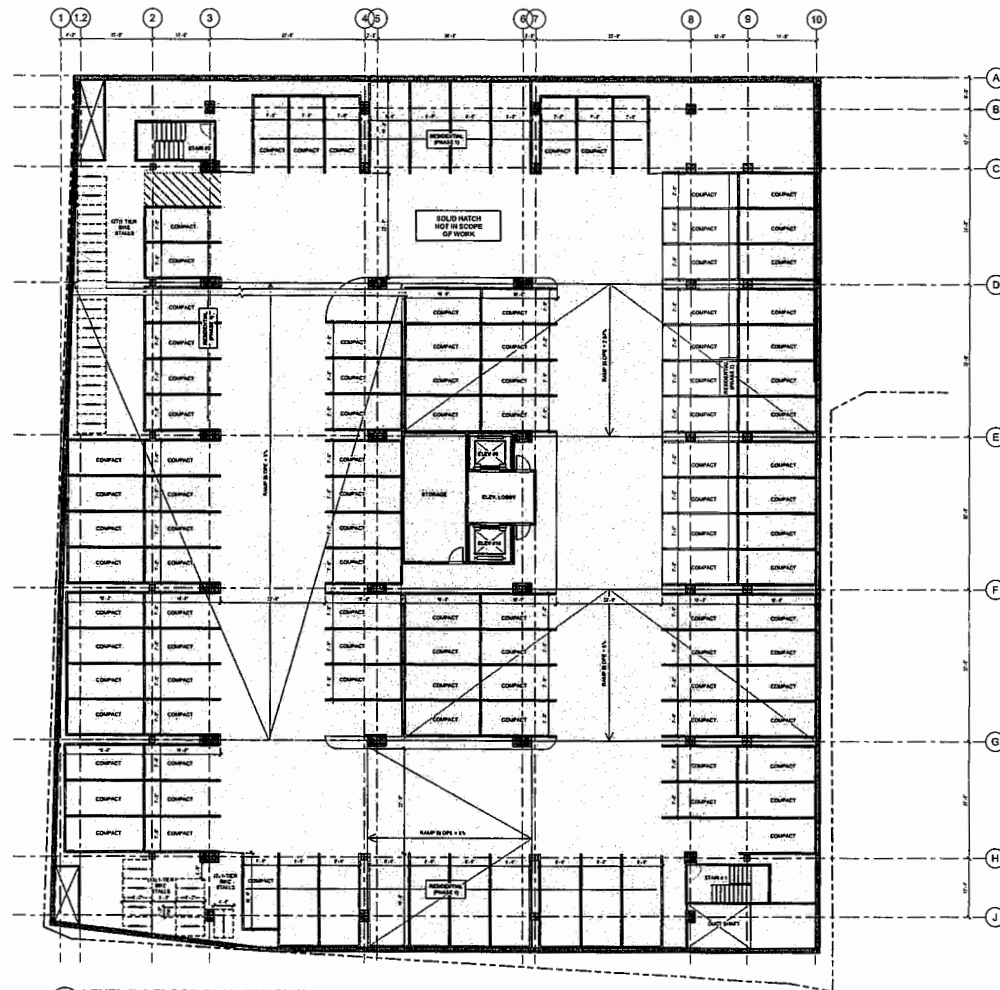
1 LEVEL P-4 FLOOR PLAN (PHASE 2)
SCALE 1/8" = 1'-0"



SIDE PARTING COUNT (ALL PHASES)

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1.000	1	EA	100.00	100.00
1.001	1	EA	100.00	100.00
1.002	1	EA	100.00	100.00
1.003	1	EA	100.00	100.00
1.004	1	EA	100.00	100.00
1.005	1	EA	100.00	100.00
1.006	1	EA	100.00	100.00
1.007	1	EA	100.00	100.00
1.008	1	EA	100.00	100.00
1.009	1	EA	100.00	100.00
1.010	1	EA	100.00	100.00
1.011	1	EA	100.00	100.00
1.012	1	EA	100.00	100.00
1.013	1	EA	100.00	100.00
1.014	1	EA	100.00	100.00
1.015	1	EA	100.00	100.00
1.016	1	EA	100.00	100.00
1.017	1	EA	100.00	100.00
1.018	1	EA	100.00	100.00
1.019	1	EA	100.00	100.00
1.020	1	EA	100.00	100.00
1.021	1	EA	100.00	100.00
1.022	1	EA	100.00	100.00
1.023	1	EA	100.00	100.00
1.024	1	EA	100.00	100.00
1.025	1	EA	100.00	100.00
1.026	1	EA	100.00	100.00
1.027	1	EA	100.00	100.00
1.028	1	EA	100.00	100.00
1.029	1	EA	100.00	100.00
1.030	1	EA	100.00	100.00
1.031	1	EA	100.00	100.00
1.032	1	EA	100.00	100.00
1.033	1	EA	100.00	100.00
1.034	1	EA	100.00	100.00
1.035	1	EA	100.00	100.00
1.036	1	EA	100.00	100.00
1.037	1	EA	100.00	100.00
1.038	1	EA	100.00	100.00
1.039	1	EA	100.00	100.00
1.040	1	EA	100.00	100.00
1.041	1	EA	100.00	100.00
1.042	1	EA	100.00	100.00
1.043	1	EA	100.00	100.00
1.044	1	EA	100.00	100.00
1.045	1	EA	100.00	100.00
1.046	1	EA	100.00	100.00
1.047	1	EA	100.00	100.00
1.048	1	EA	100.00	100.00
1.049	1	EA	100.00	100.00
1.050	1	EA	100.00	100.00
1.051	1	EA	100.00	100.00
1.052	1	EA	100.00	100.00
1.053	1	EA	100.00	100.00
1.054	1	EA	100.00	100.00
1.055	1	EA	100.00	100.00
1.056	1	EA	100.00	100.00
1.057	1	EA	100.00	100.00
1.058	1	EA	100.00	100.00
1.059	1	EA	100.00	100.00
1.060	1	EA	100.00	100.00
1.061	1	EA	100.00	100.00
1.062	1	EA	100.00	100.00
1.063	1	EA	100.00	100.00
1.064	1	EA	100.00	100.00
1.065	1	EA	100.00	100.00
1.066	1	EA	100.00	100.00
1.067	1	EA	100.00	100.00
1.068	1	EA	100.00	100.00
1.069	1	EA	100.00	100.00
1.070	1	EA	100.00	100.00
1.071	1	EA	100.00	100.00
1.072	1	EA	100.00	100.00
1.073	1	EA	100.00	100.00
1.074	1	EA	100.00	100.00
1.075	1	EA	100.00	100.00
1.076	1	EA	100.00	100.00
1.077	1	EA	100.00	100.00
1.078	1	EA	100.00	100.00
1.079	1	EA	100.00	100.00
1.080	1	EA	100.00	100.00
1.081	1	EA	100.00	100.00
1.082	1	EA	100.00	100.00
1.083	1	EA	100.00	100.00
1.084	1	EA	100.00	100.00
1.085	1	EA	100.00	100.00
1.086	1	EA	100.00	100.00
1.087	1	EA	100.00	100.00
1.088	1	EA	100.00	100.00
1.089	1	EA	100.00	100.00
1.090	1	EA	100.00	100.00
1.091	1	EA	100.00	100.00
1.092	1	EA	100.00	100.00
1.093	1	EA	100.00	100.00
1.094	1	EA	100.00	100.00
1.095	1	EA	100.00	100.00
1.096	1	EA	100.00	100.00
1.097	1	EA	100.00	100.00
1.098	1	EA	100.00	100.00
1.099	1	EA	100.00	100.00
1.100	1	EA	100.00	100.00

NOTE: PARTIAL REQUIREMENTS FOR LOTS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242



BIKE PARKING COUNTY (ALL PHASES)					
PHASE	SHORT TERM (BICYCLES)	LONG TERM (BICYCLES)	SHORT TERM (BICYCLES)	LONG TERM (BICYCLES)	REMARKS
LEVEL 1	0	0	12	0	10
LEVEL 2	40	0	12	3	75
LEVEL 3	2	0	0	0	0
LEVEL 4	13	37	7	0	40
LEVEL 5	0	37	6	0	27
LEVEL 6	12	36	6	1	85
TOTAL AVAILABLE	67	73	37	4	237
REMARKS	0	0	0	0	0

PARKING COUNT (EXISTING)

1. <http://www.who.int/mediacentre/factsheets/fs104/en/>

GENERAL NOTES



SHEET NOTES

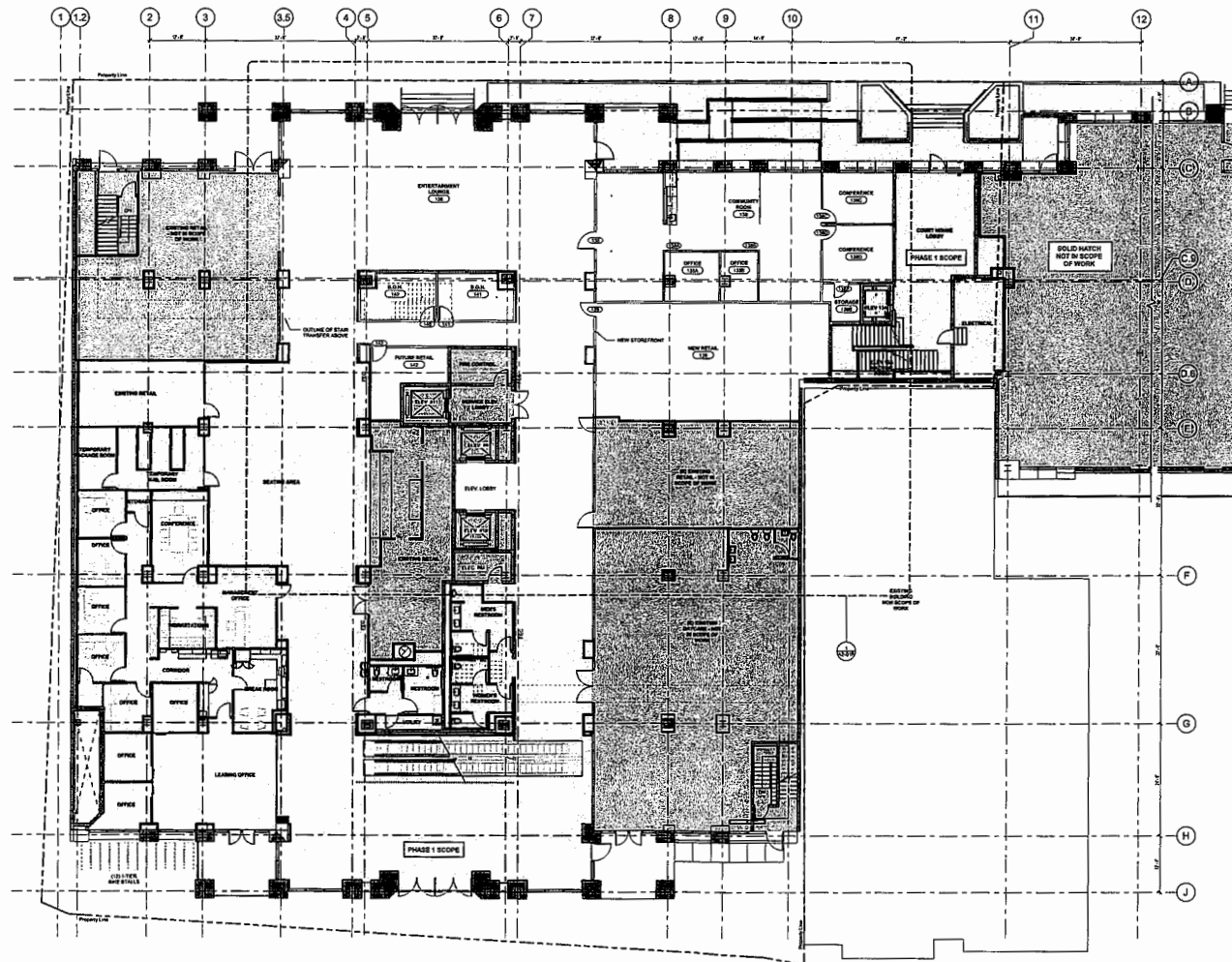
Douglas Emmett Douglas Emmett, Inc.

1132 Bishop Street

Drawn By:
Author

Checked By:
Checker

Project Number:
2018030



1 LEVEL 1 FLOOR PLAN (PHASE 1A)
SCALE: 1/8" = 1'-0"

2020/GEN-9
EXHIBIT J

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL EXISTING CONDITIONS AND CONDITIONS AFTER THE DESIGN/CONSTRUCTION PHASE IS COMPLETED PRIOR TO ANY NEW WORK CONSTRUCTION.
2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD, UNLESS OTHERWISE NOTED. THE ACTUALLY MEASURED DIMENSIONS SHALL BE NOTED BY ANY DISCREPANCIES FOUND.
3. DIMENSIONS ARE TO FACE OF CONCRETE/MASS CONCRETE UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE OF CONCRETE/MASS CONCRETE UNLESS OTHERWISE NOTED.
4. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS AND MATERIALS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND CONDITIONS AFTER THE DESIGN/CONSTRUCTION PHASE IS COMPLETED PRIOR TO ANY NEW WORK CONSTRUCTION.
5. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
6. MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
7. ALL WALL AND CEILING CURVE AND PENETRATIONS SHALL BE VERIFIED BY THE CONTRACTOR. ALL WALL AND CEILING CURVE AND PENETRATIONS SHALL BE VERIFIED BY THE CONTRACTOR. ALL WALL AND CEILING CURVE AND PENETRATIONS SHALL BE VERIFIED BY THE CONTRACTOR.
8. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
9. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
10. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
11. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
12. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR. DIMENSIONS OF SPECIAL ITEMS OR MATERIALS SHALL BE VERIFIED BY THE CONTRACTOR.
13. ALL COMMON WALLS ON RESIDENTIAL LEVELS 2 TO 3 SHALL BE VERIFIED BY THE CONTRACTOR. ALL COMMON WALLS ON RESIDENTIAL LEVELS 2 TO 3 SHALL BE VERIFIED BY THE CONTRACTOR. ALL COMMON WALLS ON RESIDENTIAL LEVELS 2 TO 3 SHALL BE VERIFIED BY THE CONTRACTOR.

SHEET NOTES

LEGEND

- EXISTING WALL TO REMAIN
- NEW EXTERIOR WALL



Shannon Cordwell Bunn
Chicago
T 312.896.1100
San Francisco
T 415.312.3430
www.scb.com

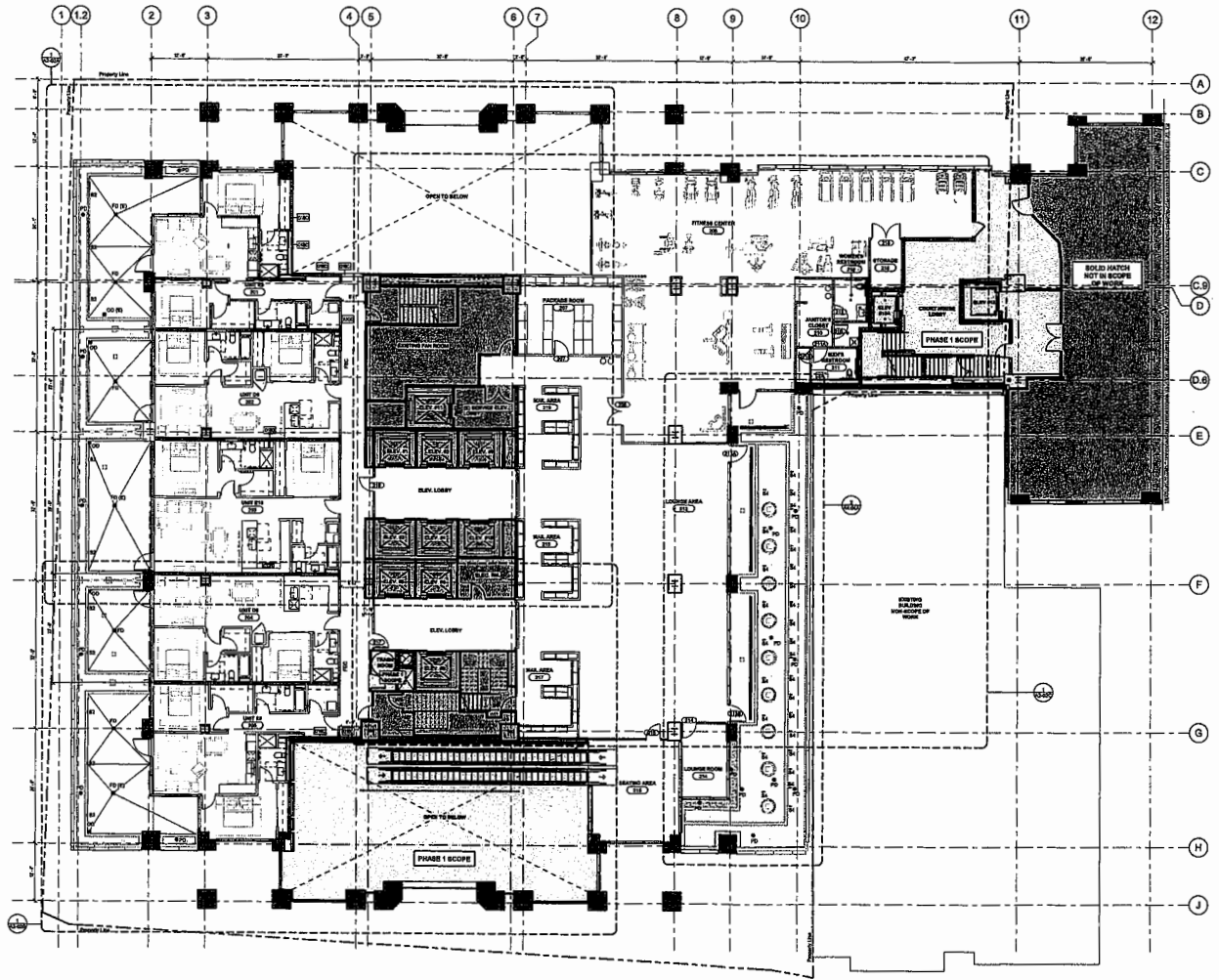
DATE	DESCRIPTION	BY	CHKD
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB
11/13/2019	1132 BISHOP STREET, HONOLULU, HAWAII 96813	SCB	SCB

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2019 Shannon Cordwell Bunn
LEVEL 1 FLOOR
PLAN

Drawn By:
Author
Checked By:
Checker
Project Number:
2018030

Sheet Number:
A2-01



1 LEVEL 2 FLOOR PLAN (PHASE 1A)
SCALE 1/8" = 1'-0"

2020/GEN-9
EXHIBIT K

1. GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL EXISTING CONDITIONS AND CONDITIONS OF THE BUILDING AND MAKE NECESSARY REVISIONS TO THE WORK (SEE SHEET).
2. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO THE START OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES.
3. ALL DIMENSIONS ARE TO FACE OF CONCRETE SLAB. DIMENSIONS OF CONCRETE SHALL BE TO THE CENTER OF THE ELEMENT (COLUMN, BEAM, WALL, ETC.).
4. THE CONTRACTOR SHALL LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES.
5. DIMENSIONS OR DETAILS NOTED AS TYPICAL (ON THIS SHEET) SHALL BE AS SHOWN ON THE DRAWING. DIMENSIONS OR DETAILS NOTED AS TYPICAL (ON THIS SHEET) SHALL BE AS SHOWN ON THE DRAWING.
6. BUILDING SHALL BE REINFORCED, GROUTED OR PROTECTED TO PREVENT CORROSION AND TO PREVENT WEAR AND TEAR.
7. BUILDING SHALL BE REINFORCED, GROUTED OR PROTECTED TO PREVENT CORROSION AND TO PREVENT WEAR AND TEAR.
8. REPAIR AND PRESERVE EXISTING SURFACES SHALL BE RESPONSIBLE TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES.
9. ALL EXISTING STRUCTURAL MEMBERS (COLUMNS, BEAMS, WALLS, FLOORS, ROOFS, ETC.) SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES.
10. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR FURTHER DETAILS OF EXISTING AND NEW STRUCTURAL MEMBERS (COLUMNS, BEAMS, WALLS, FLOORS, ROOFS, ETC.).
11. FOR EXISTING SCOPE OF WORK, SEE BUILDING EXISTING SCOPE OF WORK AND SHEET 10.
12. ALL EXISTING WALLS IN EXISTING LEVELS 2 TO 20 SHALL BE MAINTAINED AND REPAIRED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES.

SHEET NOTES

LEGEND

- EXISTING WALL TO REMAIN
- NEW EXISTING WALL



Solomon Cordwell Buenes
Chicago
T 312.296.1100
San Francisco
T 415.210.2400
www.scb.com

Douglas Emmett
Douglas Emmett, Inc.

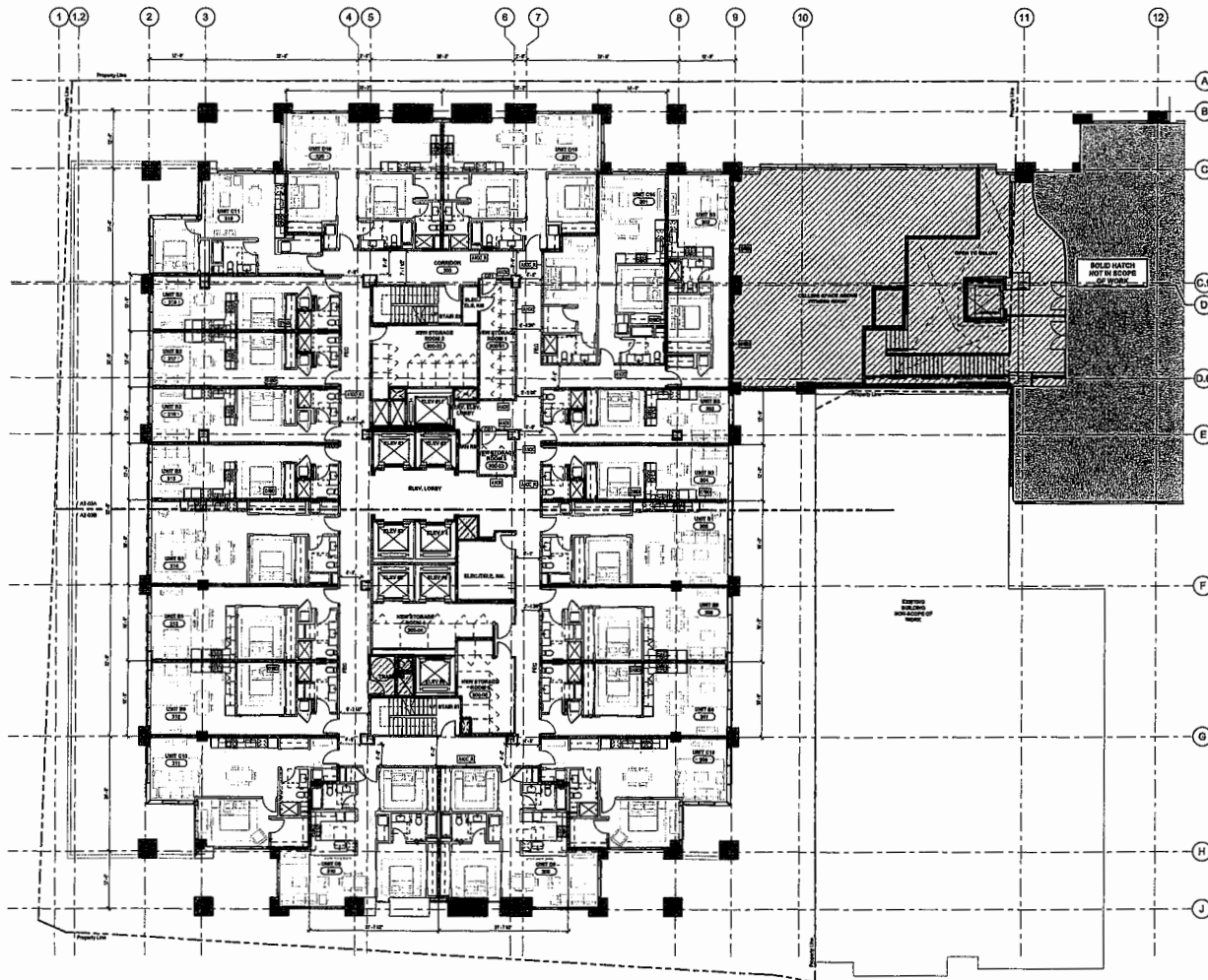
1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

LEVEL 2 FLOOR
PLAN

Drawn By:
Author
Checked By:
Checked By:
Project Number:
2018030

Sheet Number:
A2-02



1 LEVEL 3 FLOOR PLAN (PHASE 2)
SCALE: 1/8" = 1'-0"

2020/GEN-9
EXHIBIT L

1. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
5. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
8. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
12. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

LEGEND:

- WALL NOTICES**
- EXISTING WALL TO REMAIN
 - NEW INTERIOR WALL
 - 1 HOUR RATED WALL
 - 2 HOUR RATED WALL
 - SCOPE OF WORK UNDER PHASE 1

SCB
Solomon Cordwell Buenes
Chicago
T 312.296.1100
San Francisco
T 415.218.2450
www.scb.com

Douglas Emmett

Project Name	1132 Bishop Street
Project Number	2018030
Project Location	1132 Bishop Street, Honolulu, Hawaii 96813
Project Description	Level 3 Floor Plan (Phase 2)
Project Status	Design
Project Manager	
Project Engineer	
Project Architect	
Project Consultant	
Project Contractor	
Project Owner	
Project Date	

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2013 Solomon Cordwell Buenes

LEVEL 3 FLOOR PLAN (PHASE 2)

Drawn By:	Author	Sheet Number:
Checked By:	Checker	
Project Number:	2018030	A2-03

[illegible]

SCB
Solomon Cordwell Buenz
Chicago
T 312.898.1100
San Francisco
T 415.216.2450
www.scb.com

EXISTING EXTERIOR WALLS	
EXISTING WALL TO REMAIN	
EXISTING WALL TO REMOVE	
SCOPE OF WORK UNDER PHASE 1	

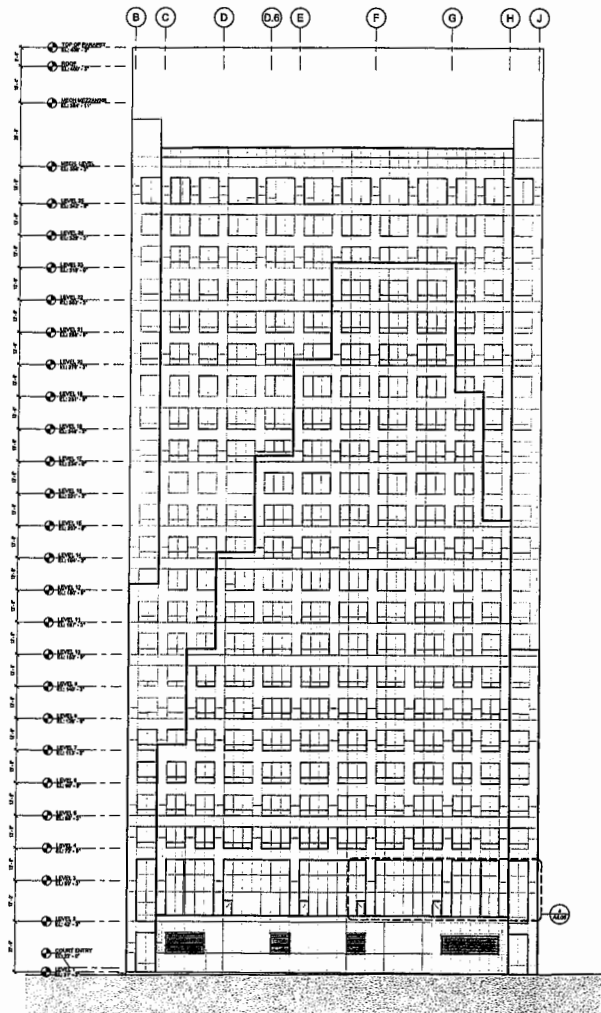
[illegible]

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2019 Salsman Cordwell Burns

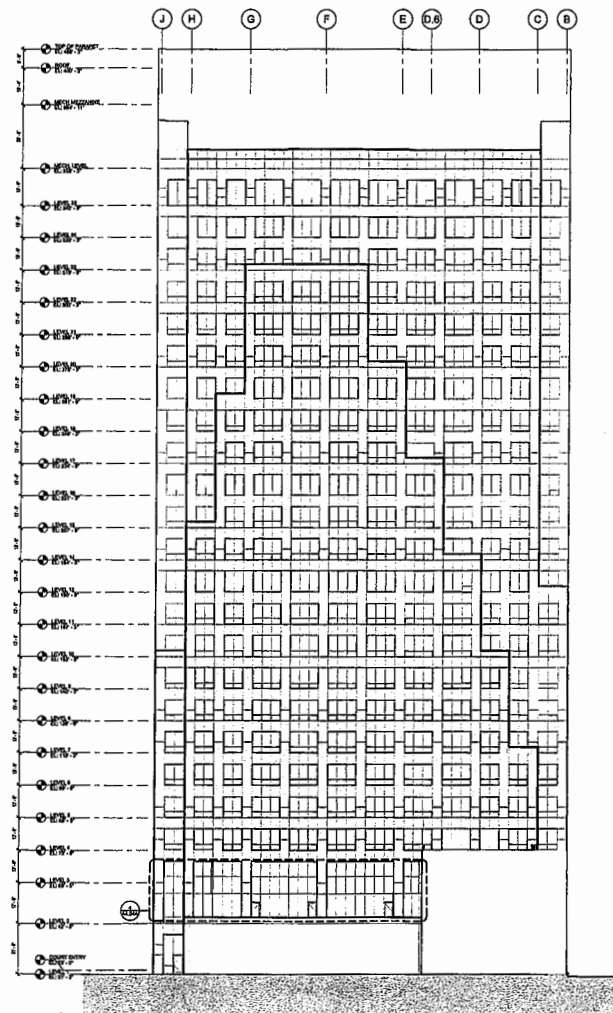
**LEVEL 4 FLOOR
PLAN (PHASE 2)**

Sheet Number:

A2-04



2 BUILDING ELEVATION - WEST (PHASE 1A)
SCALE: 1/8" = 1'-0"



1 BUILDING ELEVATION - EAST (PHASE 1A)
SCALE: 1/8" = 1'-0"

2020/GEN-9
EXHIBIT P

1. NEW REPLACEMENT WINDOWS IN THE LATEST PHASES ARE SHOWN TOGGLED AND SHOWN WITH LATEST WINDOW SCHEDULES IN PHASE 1A.
2. REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
3. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
4. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
5. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
6. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
7. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
8. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
9. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
10. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
11. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.
12. NEW REPLACEMENT WINDOWS SHALL BE PROVIDED FROM THE EXISTING WINDOW SCHEDULES IN PHASE 1A.

LEGEND:

- WINDOW TILT
- WINDOW TILT (SHOWN IN PHASE 1A)

SCB
Solomon Construction Group
Chicago
T 312.886.1100
San Francisco
T 415.218.2400
www.scb.com

Douglas Emmett, Inc.
Douglas Emmett, Inc.

1132 BISHOP STREET, HONOLULU, HAWAII 96813
© 2020 Solomon Construction Group
BUILDING ELEVATIONS - EAST & WEST
1132 BISHOP STREET, HONOLULU, HAWAII 96813
© 2020 Solomon Construction Group
BUILDING ELEVATIONS - EAST & WEST
1132 BISHOP STREET, HONOLULU, HAWAII 96813
© 2020 Solomon Construction Group
BUILDING ELEVATIONS - EAST & WEST

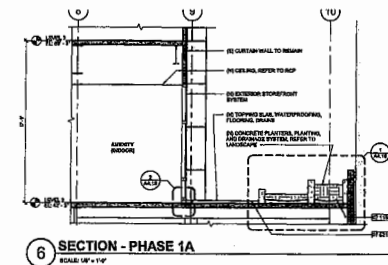
1132 Bishop Street

1132 BISHOP STREET, HONOLULU, HAWAII 96813
© 2020 Solomon Construction Group

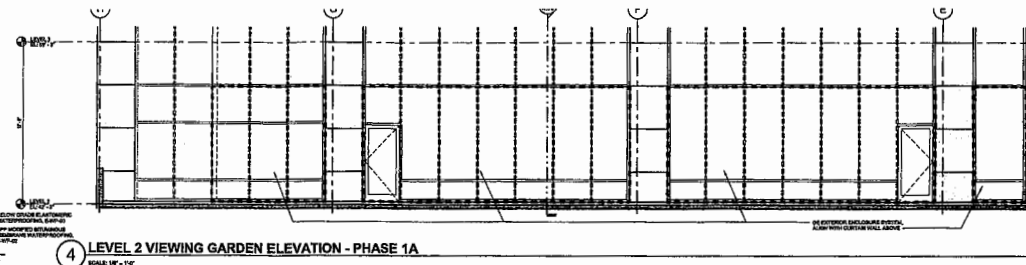
BUILDING ELEVATIONS - EAST & WEST

Drawn By: JAC
Checked By: JAC
Project Number: 2018030

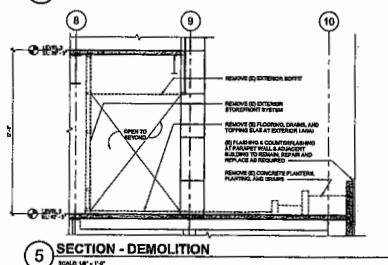
Sheet Number: A3-03



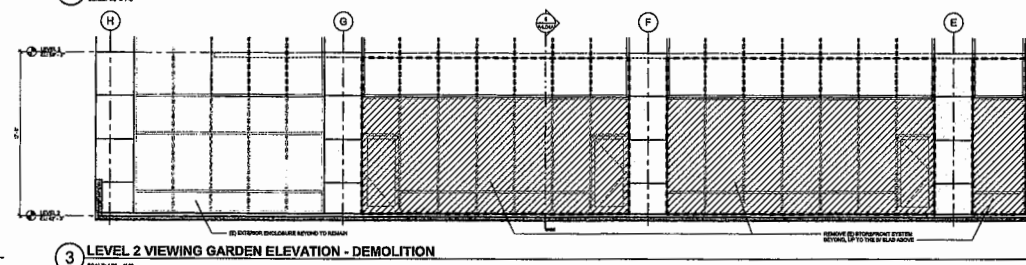
6 SECTION - PHASE 1A
SCALE: 1/8" = 1'-0"



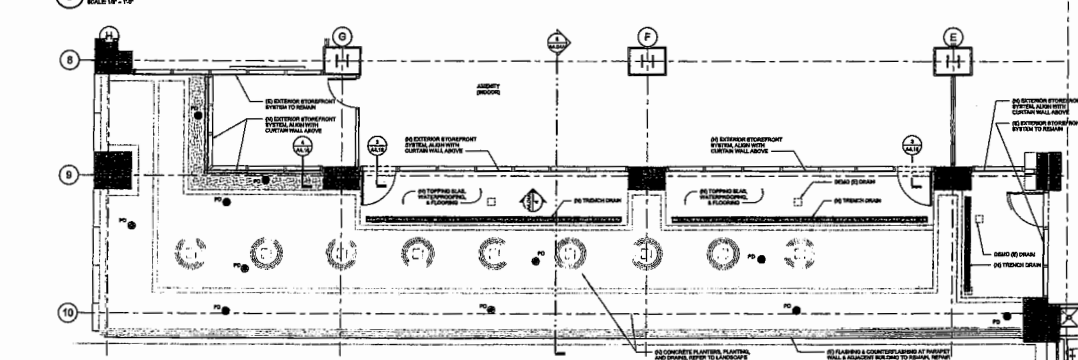
4 LEVEL 2 VIEWING GARDEN ELEVATION - PHASE 1A



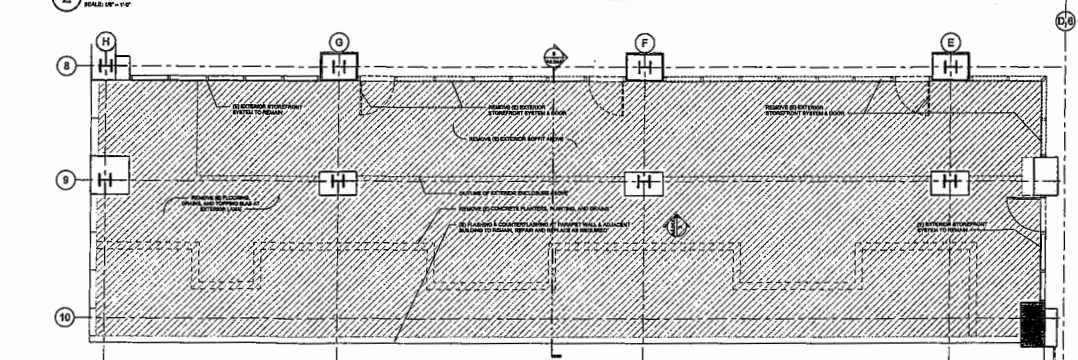
5 SECTION - DEMOLITION



3 LEVEL 2 VIEWING GARDEN ELEVATION - DEMOLITION

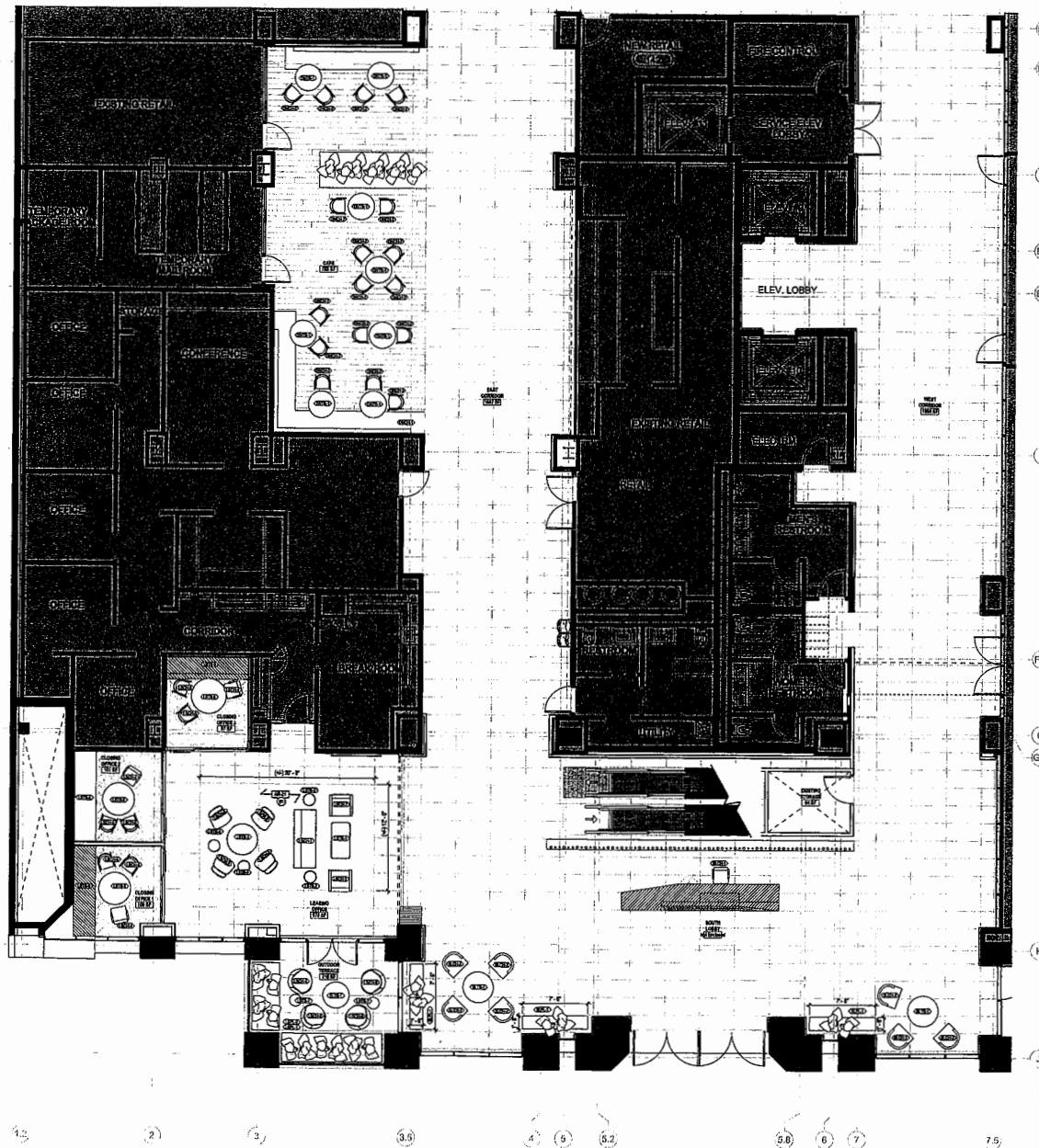


2 PARTIAL FLOOR PLAN @ LEVEL 2 VIEWING GARDEN - PHASE 1A



① PARTIAL FLOOR PLAN @ LEVEL 2 VIEWING GARDEN - DEMOLITION

2020/GEN-9
EXHIBIT Q



1 Level 1 Furniture Plan_South Lobby (Phase 1)

SHEET NOTES

1. AREA HAS BEEN LAYOUT TO BE COORDINATED WITH THE FIELD WITH FURNITURE LAYOUT



Salemson Construction Bureau
Chicago
T. 312.296.1100
San Francisco
T. 415.792.2450
www.scb.com

Genster

20 South Duane Street
San Francisco, California 94111
Tel. 415.397.3800
Fax. 415.397.3801

GENERAL NOTES

LEGEND

NOTE: FURNITURE TO BE COORDINATED WITH FURNITURE LAYOUT

Douglas Emmett Douglas Emmett, Inc.

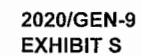
NO.	DATE	DESCRIPTION
1	11/11/11	11/11/11
2	11/11/11	11/11/11
3	11/11/11	11/11/11
4	11/11/11	11/11/11
5	11/11/11	11/11/11
6	11/11/11	11/11/11
7	11/11/11	11/11/11
8	11/11/11	11/11/11
9	11/11/11	11/11/11
10	11/11/11	11/11/11
11	11/11/11	11/11/11
12	11/11/11	11/11/11
13	11/11/11	11/11/11
14	11/11/11	11/11/11
15	11/11/11	11/11/11
16	11/11/11	11/11/11
17	11/11/11	11/11/11
18	11/11/11	11/11/11
19	11/11/11	11/11/11
20	11/11/11	11/11/11
21	11/11/11	11/11/11
22	11/11/11	11/11/11
23	11/11/11	11/11/11
24	11/11/11	11/11/11
25	11/11/11	11/11/11
26	11/11/11	11/11/11
27	11/11/11	11/11/11
28	11/11/11	11/11/11
29	11/11/11	11/11/11
30	11/11/11	11/11/11
31	11/11/11	11/11/11
32	11/11/11	11/11/11
33	11/11/11	11/11/11
34	11/11/11	11/11/11
35	11/11/11	11/11/11
36	11/11/11	11/11/11
37	11/11/11	11/11/11
38	11/11/11	11/11/11
39	11/11/11	11/11/11
40	11/11/11	11/11/11
41	11/11/11	11/11/11
42	11/11/11	11/11/11
43	11/11/11	11/11/11
44	11/11/11	11/11/11
45	11/11/11	11/11/11
46	11/11/11	11/11/11
47	11/11/11	11/11/11
48	11/11/11	11/11/11
49	11/11/11	11/11/11
50	11/11/11	11/11/11
51	11/11/11	11/11/11
52	11/11/11	11/11/11
53	11/11/11	11/11/11
54	11/11/11	11/11/11
55	11/11/11	11/11/11
56	11/11/11	11/11/11
57	11/11/11	11/11/11
58	11/11/11	11/11/11
59	11/11/11	11/11/11
60	11/11/11	11/11/11
61	11/11/11	11/11/11
62	11/11/11	11/11/11
63	11/11/11	11/11/11
64	11/11/11	11/11/11
65	11/11/11	11/11/11
66	11/11/11	11/11/11
67	11/11/11	11/11/11
68	11/11/11	11/11/11
69	11/11/11	11/11/11
70	11/11/11	11/11/11
71	11/11/11	11/11/11
72	11/11/11	11/11/11
73	11/11/11	11/11/11
74	11/11/11	11/11/11
75	11/11/11	11/11/11
76	11/11/11	11/11/11
77	11/11/11	11/11/11
78	11/11/11	11/11/11
79	11/11/11	11/11/11
80	11/11/11	11/11/11
81	11/11/11	11/11/11
82	11/11/11	11/11/11
83	11/11/11	11/11/11
84	11/11/11	11/11/11
85	11/11/11	11/11/11
86	11/11/11	11/11/11
87	11/11/11	11/11/11
88	11/11/11	11/11/11
89	11/11/11	11/11/11
90	11/11/11	11/11/11
91	11/11/11	11/11/11
92	11/11/11	11/11/11
93	11/11/11	11/11/11
94	11/11/11	11/11/11
95	11/11/11	11/11/11
96	11/11/11	11/11/11
97	11/11/11	11/11/11
98	11/11/11	11/11/11
99	11/11/11	11/11/11
100	11/11/11	11/11/11

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813

Level 1 Amenity - South Lobby (Phase 1)

Drawn By: A6.03
Author: A6.03
Checked By: A6.03
Project Number: 05.2502.000

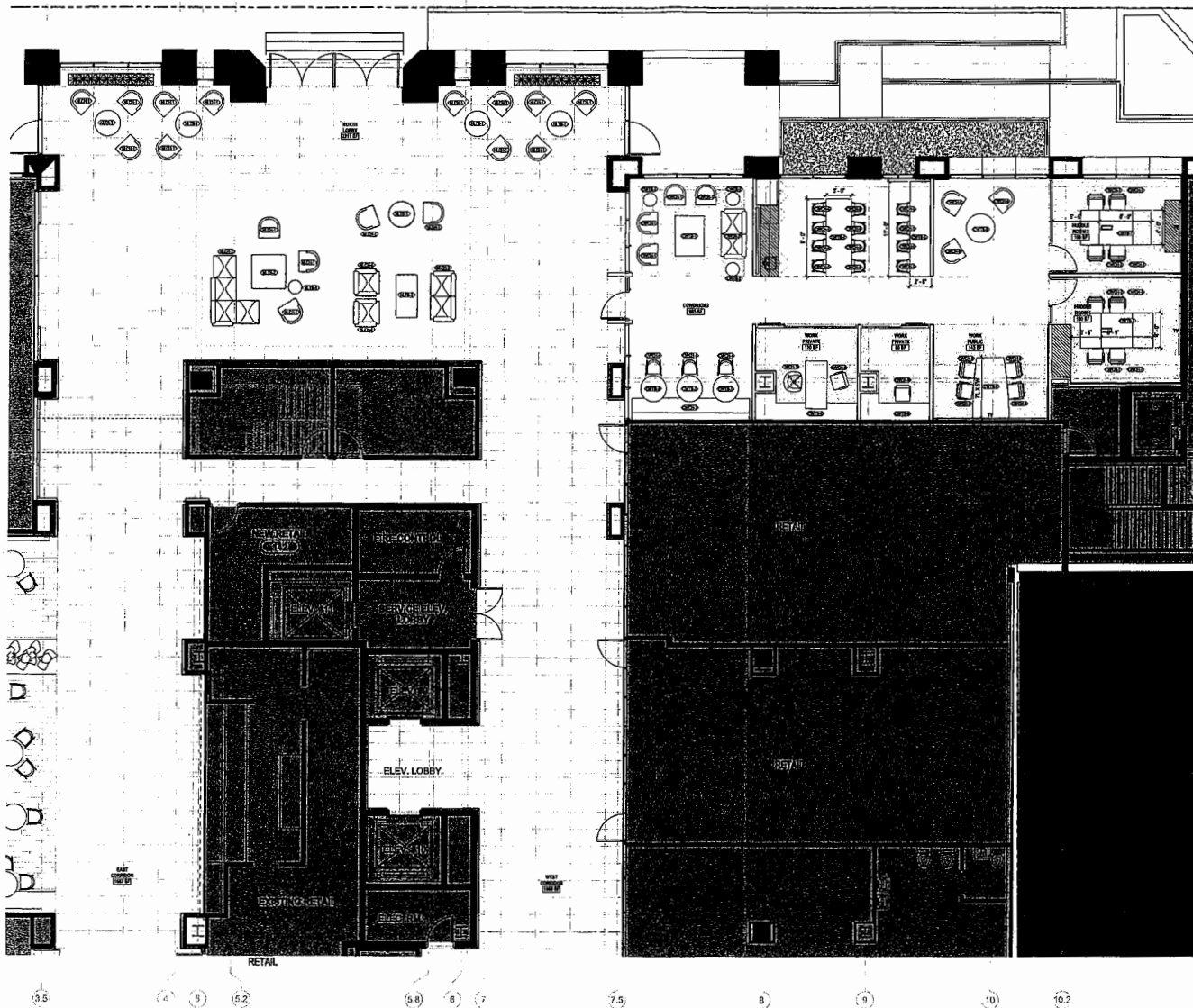
[illegible]

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2010 Subman Cordana Burell

**LEVEL 1 AMENITY
FINISH PLAN -
LEASING OFFICE
(PHASE 1)**

Drawn By: Author Checked By: Checker Project Number: 2018030	Sheet Number: A6.04
---	-----------------------------------



2020/GEN-9
EXHIBIT T

1 Level 1_Furniture Plan_North Lobby (Phase 1A)

SHEET NOTES



Salomon Cordwell Buenes
Chicago
T 312.656.1100
San Francisco
T 415.218.2450
www.scb.com

Gensler

310 South Powers Road
San Jose, California 95128
United States
Tel 415.837.3000
Fax 415.337.5001

GENERAL NOTES

LEGEND

Item	Description
1	RECEIPTS
2	RECEIPTS
3	RECEIPTS
4	RECEIPTS
5	RECEIPTS
6	RECEIPTS
7	RECEIPTS
8	RECEIPTS
9	RECEIPTS
10	RECEIPTS
11	RECEIPTS
12	RECEIPTS
13	RECEIPTS
14	RECEIPTS
15	RECEIPTS
16	RECEIPTS
17	RECEIPTS
18	RECEIPTS
19	RECEIPTS
20	RECEIPTS
21	RECEIPTS
22	RECEIPTS
23	RECEIPTS
24	RECEIPTS
25	RECEIPTS
26	RECEIPTS
27	RECEIPTS
28	RECEIPTS
29	RECEIPTS
30	RECEIPTS
31	RECEIPTS
32	RECEIPTS
33	RECEIPTS
34	RECEIPTS
35	RECEIPTS
36	RECEIPTS
37	RECEIPTS
38	RECEIPTS
39	RECEIPTS
40	RECEIPTS
41	RECEIPTS
42	RECEIPTS
43	RECEIPTS
44	RECEIPTS
45	RECEIPTS
46	RECEIPTS
47	RECEIPTS
48	RECEIPTS
49	RECEIPTS
50	RECEIPTS
51	RECEIPTS
52	RECEIPTS
53	RECEIPTS
54	RECEIPTS
55	RECEIPTS
56	RECEIPTS
57	RECEIPTS
58	RECEIPTS
59	RECEIPTS
60	RECEIPTS
61	RECEIPTS
62	RECEIPTS
63	RECEIPTS
64	RECEIPTS
65	RECEIPTS
66	RECEIPTS
67	RECEIPTS
68	RECEIPTS
69	RECEIPTS
70	RECEIPTS
71	RECEIPTS
72	RECEIPTS
73	RECEIPTS
74	RECEIPTS
75	RECEIPTS
76	RECEIPTS
77	RECEIPTS
78	RECEIPTS
79	RECEIPTS
80	RECEIPTS
81	RECEIPTS
82	RECEIPTS
83	RECEIPTS
84	RECEIPTS
85	RECEIPTS
86	RECEIPTS
87	RECEIPTS
88	RECEIPTS
89	RECEIPTS
90	RECEIPTS
91	RECEIPTS
92	RECEIPTS
93	RECEIPTS
94	RECEIPTS
95	RECEIPTS
96	RECEIPTS
97	RECEIPTS
98	RECEIPTS
99	RECEIPTS
100	RECEIPTS

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 09813
© 2018 Salomon Cordwell Buenes

Level 1 Amenity -
Furniture Plan - North
Lobby (Phase 1A)

Drawn By:
Author
Checked By:
Designer
Project Number:
05.2502.000

Sheet Number:
A6.13

Gensler

SOC South Figueroa Street
Los Angeles, California 90071
United States

Tel 213.837.5666
Fax 213.327.3091

LEGEND

Douglas Emmett Douglas Emmett,

[illegible]

1132 Bishop Street

1132 BISHOP STREET,
HONOLULU, HAWAII 96813
© 2013 Belmont Cardenal Buena

**Level 2 Amenity -
Furniture Plan -
Fitness & Lounge
(Phase 1A)**

Drawn By: Author	Sheet Number: A6.17
Checked By: Checker	
Project Number: 05.2502.000	

A6.17