

SUMMARY OF PROPOSED COMMITTEE DRAFT:

RESOLUTION 25-24 GRANTING A SPECIAL MANAGEMENT AREA MAJOR PERMIT TO ALLOW FOR THE CONSTRUCTION OF TWO NEW SINGLE-FAMILY DWELLINGS WITH ATTACHED GARAGES IN LĀ'IE, O'AHU.

The **PROPOSED CD1** makes the following amendments:

- A. Amends the resolution title to read as follows:

"GRANTING A SPECIAL MANAGEMENT AREA MAJOR PERMIT TO ALLOW FOR THE CONSTRUCTION OF TWO NEW SINGLE-UNIT DWELLINGS WITH ATTACHED GARAGES IN LĀ'IE, O'AHU."
- B. Amends the first WHEREAS clause to clarify the description of the Project.
- C. Amends the second WHEREAS clause to delete reference to the nature of the public testimony at the public hearing.
- D. Amends the third WHEREAS clause to provide that on December 24, 2024 (instead of December 23, 2024), within 109 calendar days (instead of 120 working days) after the close of the public hearing (the Applicant having agreed to an extension of the 45-calendar-day administrative deadline to process the application), the DPP completed its report and transmitted its findings and recommendation of approval to the Council.
- E. Amends the fourth WHEREAS clause by changing the reference to Departmental Communication 1 (2025) to Departmental Communication 3 (2025).
- F. In Condition A, relating to Project redesign requirements, reformats the condition and:
 - 1. In Condition A.1, requires the relocation of all Project structures, including the two proposed single-unit dwellings, as follows:
 - a. If the Project's building permit is issued by June 30, 2025, all structures must be relocated entirely mauka of the 3.2-foot sea level rise ("SLR") coastal erosion line as mapped on the Hawai'i SLR Viewer (see Exhibit H); or
 - b. Notwithstanding whether the Project's building permit is issued by June 30, 2025, or after July 1, 2025, all structures must be relocated mauka of the 130-foot shoreline setback required under ROH Chapter 26 effective as of July 1, 2024, or mauka of the shoreline setback area based on an alternative annual coastal

erosion rate for the Project site (instead of an annual coastal erosion rate of 1.1 feet) approved by the DPP Director pursuant to the City's Rules Relating to Shoreline Setbacks and the Special Management Area.

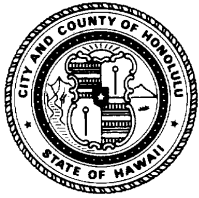
2. In Condition A.2, requires that all Project structures that comply with Condition A.1, but are located within the 3.2-foot sea level rise exposure area ("SLR-XA") as mapped on the Hawai'i SLR Viewer incorporate a foundation or other adaptation or design measures, and the plans must be stamped by a civil engineer licensed by the State of Hawai'i.
- G. Adds a new Condition B to require that the Project Plans, including the attached Exhibits and the calculations required by the Land Use Ordinance ("LUO") be updated to remove 5,712 square feet of the Project zoning lot that has been lost to erosion since 1933 and is now within the State Land Use Conservation District, as shown on the Certified Shoreline Survey dated September 13, 2024. Re-letters subsequent conditions.
- H. In re-lettered Condition C, clarifies that except as modified in the resolution, including but not limited to under Conditions A, B, and F.1, development must be in general conformity with the Project as described in the DPP's findings and recommendation, and as depicted in the Exhibits attached to the resolution.
- I. In re-lettered Condition D, relating to archaeological, historic, and cultural resources, adjusts the order of the conditions and:
1. Adds a new Condition D.1 to provide that prior to commencing any ground disturbing or construction activity for the Project, the Applicant is required to submit to the DPP a copy of the written determination from the State Historic Preservation Division ("SHPD") pursuant to HRS § 6E-42. Renumbers subsequent conditions in Condition C.
 2. Amends renumbered Condition D.2 to clarify that prior to commencing any ground disturbing or construction activity for the Project, the Applicant is required to submit to the DPP a copy of an archaeological inventory survey ("AIS") that includes subsurface testing conducted by a qualified archaeologist, and has been reviewed and approved by SHPD.
 3. Adds a new Condition D.3 to provide that if required by SHPD upon review of the AIS, the Applicant, in consultation SHPD, is required to prepare an archaeological monitoring plan ("AMP") that meets the standards of Hawaii Administrative Rules Chapter 13-279, and to implement the AMP during ground-disturbing activity and Project construction.
 4. Adds a new Condition D.4 to require the Applicant to consult with SHPD to implement all mitigation protocols approved or otherwise required by SHPD, and under the AIS and any AMP for all historic and cultural

resources (including iwi kūpuna) discovered on the Project site. Prior to the commencement of ground-disturbing activity and Project construction, requires the Applicant to hold a coordination meeting among the Project's archaeological consultants, the construction contractor, and applicable subcontractors to ensure that the construction contractor and applicable subcontractors have been informed of all mitigation protocols required by SHPD and under the AIS and any AMP. Renumbers the subsequent condition in Condition D.

- J. In re-lettered Condition F, relating to minimizing the spread of invasive pathogens, pests, or plants:
 - 1. Amends Condition F.1 to provide that as initially proposed, the Applicant estimated the importation of 56 cubic yards of structural fill material for the Project's slab-on-grade foundation and grass paver driveway. Requires the Applicant to minimize the importation of fill material to the extent possible by redesigning the Project's slab-on-grade foundation to a post and pier foundation or a micropile foundation.
 - 2. Conforms Conditions F.2, F.3, and F.4 to the standard provisions relating to minimizing the movement of plant or soil material on the Project site, decontamination protocols for the prevention of invasive species, and the procedures to follow if invasive species are discovered on the Project site.
- K. Conforms re-lettered Condition G to the standard provisions relating to a landowner acknowledgement that bed and breakfast homes and transient vacation units are not allowed on the Project site.
- L. Conforms re-lettered Condition I to the standard provisions relating to a landowner acknowledgement that no claim of hardship due to erosion, sea level rise, or any other coastal hazard may be asserted in order to obtain approval for a Shoreline Setback Variance for a new shoreline protection structure.
- M. Adds a new Condition J to provide for landowner acknowledgements that:
 - 1. The Project site is susceptible to coastal hazards that may result in harm or loss of life and property; and
 - 2. Portions of the Project site are projected to be impacted by 3.2 feet of sea level rise by the year 2100, and the landowner agrees to assume all risk and liability for any harm to or loss of life and property due to development within the sea level rise exposure area. The landowner also agrees to accept all responsibility for the cost and physical removal of materials and structure lost or damaged as a result of coastal hazards, including the cleanup and restoration of the Project site.

Re-letters subsequent conditions.

- N. In re-lettered Condition K, relating to permits, reformats the condition and adds a new Condition K.1 to provide that the Project's building permit application was accepted as complete on June 26, 2024, and the Applicant must obtain a building permit for the Project no later than June 30, 2025. If the Project's building permit is not obtained by June 30, 2025, the Project may not rely on the 40-foot shoreline setback that was in effect through June 30, 2024, and must instead comply with the shoreline setback required under ROH Chapter 26 effective as of July 1, 2024. Renumbers the subsequent condition in Condition K.
- O. Adds a BE IT FURTHER RESOLVED clause to provide that no action may be prosecuted or maintained against the City, its officials, or its employees, on account of the actions taken by them in reviewing or approving the SMA Major Permit.
- P. Amends the BE IT FINALLY RESOLVED clause to correct the Applicant's name and address to Steve Turley, Western Community Crossroads, LC, 55-337 Kamehameha Highway, Laie, Hawai'i 96762 (the resolution included an erroneous reference to the Applicant's name and address).
- Q. Makes miscellaneous technical and nonsubstantive amendments.



HONOLULU CITY COUNCIL
KE KANIHELA O KE KALANA O HONOLULU
CITY AND COUNTY OF HONOLULU

No. **25-24, CD1**
PROPOSED

RESOLUTION

GRANTING A SPECIAL MANAGEMENT AREA MAJOR PERMIT TO ALLOW FOR THE CONSTRUCTION OF TWO NEW SINGLE-UNIT DWELLINGS WITH ATTACHED GARAGES IN LĀ'IE, O'AHU.

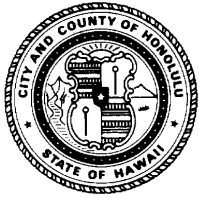
WHEREAS, on July 26, 2024, the Department of Planning and Permitting ("DPP") accepted the application (DPP File Number 2024/SMA-81) from Western Community Crossroads, LC ("Applicant") for a Special Management Area ("SMA") Major Permit to allow for the demolition of three existing single-unit dwellings, and the construction of two new two-story single-unit dwellings with attached two-car garages, replacement of the existing sewer connection with two new sewer line connections, repair of the existing fence along the north and south property lines, and installation of new grass block pavers on the existing driveway on an approximately 26,462 square-foot shoreline lot zoned R-5 Residential District, located at 55-337 Kamehameha Highway in Lā'ie, O'ahu, and identified as Tax Map Key 5-5-002:032 (the "Project"); and

WHEREAS, on September 6, 2024, the DPP held a public hearing on the application at the Frank F. Fasi Municipal Building, Sixth Floor Conference Room, which was attended by the Applicant, the Applicant's agent, DPP staff, and eight members of the public; and

WHEREAS, on December 24, 2024, within 109 calendar days after the close of the public hearing (the Applicant having agreed to an extension of the 45-calendar-day administrative deadline to process the application), the DPP, having duly considered all evidence and the objectives, policies, and guidelines, as established in §§ 25-3.1 and 25-4.1, Revised Ordinances of Honolulu 2021 ("ROH"), and §§ 205A-2 and 205A-26, Hawaii Revised Statutes ("HRS"), completed its report and transmitted its findings and recommendation of approval to the City Council ("Council"); and

WHEREAS, the Council, having received the findings and recommendation of the DPP on January 3, 2025, by Departmental Communication 3 (2025), and having duly considered all of the findings and reports on the matter, desires to approve the subject application for an SMA Major Permit subject to the conditions enumerated below; now, therefore,

BE IT RESOLVED by the Council of the City and County of Honolulu that an SMA Major Permit be issued to the Applicant for the Project, subject to the following conditions:

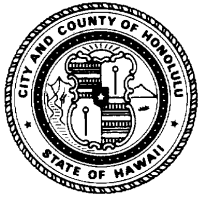


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- A. To minimize and address the potential for adverse impacts related to coastal hazards, including but not limited to sea level rise ("SLR"), coastal erosion, flooding, wave action, and storm surge, prior to the issuance of any construction permit or building permit for the Project, the Applicant shall incorporate the following adaptation and design measures into the Project plans submitted to the DPP for review:
1. The relocation of all Project structures, including the two proposed single-unit dwellings, as follows:
 - a. If the Project's building permit is issued by June 30, 2025, all structures must be relocated entirely mauka of the 3.2-foot SLR coastal erosion line as mapped on the Hawai'i SLR Viewer (see Exhibit H); or
 - b. Notwithstanding whether the Project's building permit is issued by June 30, 2025, or after July 1, 2025, all structures must be relocated mauka of the 130-foot shoreline setback required under ROH Chapter 26 effective as of July 1, 2024, or mauka of the shoreline setback area based on an alternative annual coastal erosion rate for the Project site (instead of an annual coastal erosion rate of 1.1 feet) approved by the DPP Director pursuant to the City's Rules Relating to Shoreline Setbacks and the Special Management Area.
 2. All Project structures that comply with Condition A.1, but are located within the 3.2-foot SLR exposure area ("SLR-XA") as mapped on the Hawai'i SLR Viewer (see Exhibit H) must incorporate a foundation or other adaptation or design measures, and the plans must be stamped by a civil engineer licensed by the State of Hawai'i.
- B. To accurately portray the Project site boundaries and accurately determine whether the Project complies with the Land Use Ordinance ("LUO") development standards, the Project plans, including the attached Exhibits and the calculations required by the LUO, must be updated to remove 5,712 square feet of the Project zoning lot that has been lost to erosion since 1933 and is now within the State Land Use Conservation District, as shown on the Certified Shoreline Survey dated September 13, 2024. All calculations relating to building area, floor area, and impervious surface area must be based on the Project zoning lot square footage that remains in the State Land Use Urban District.

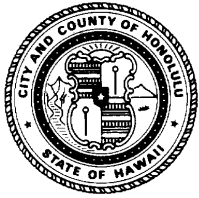


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- C. Except as modified herein, including but not limited to under Conditions A, B, and F.1, development must be in general conformity with the Project as described in the DPP's findings and recommendation, referenced above, and as depicted in Exhibits A, B, C-1 through C-13, and D through L, attached hereto and incorporated by reference herein. Any change in the size or nature of the Project that may have a significant effect on coastal resources, as addressed in ROH Chapter 25 or HRS Chapter 205A, or both, will require a new application and SMA Major Permit. Any change that does not have a significant effect on coastal resources may be considered a minor modification and may be permitted under this resolution upon review and approval by the DPP Director.
- D. To minimize impacts to archaeological, historic, and cultural resources that may be present on the Project site, the Applicant shall comply with the following:
1. Prior to commencing any ground disturbing or construction activity for the Project, the Applicant shall submit to the DPP a copy of the written determination from the State Historic Preservation Division ("SHPD") stating that SHPD has completed its review of the impact of the Project on historic properties pursuant to HRS § 6E-42, and has determined whether any mitigative actions and protocols are required.
 2. Prior to commencing any ground disturbing or construction activity for the Project, the Applicant shall submit to the DPP a copy of an archaeological inventory survey ("AIS") that includes subsurface testing conducted by a qualified archaeologist and that has been reviewed and approved by SHPD. The AIS must identify and document any archaeological historic and cultural resources on the Project site, assess their significance, and determine the potential impacts of the Project on the historic and cultural resources. The Applicant shall implement all mitigation protocols identified in the AIS that are approved or otherwise required by SHPD for all historic and cultural resources (including iwi kūpuna) discovered on the Project site.
 3. If required by SHPD upon review of the AIS, the Applicant, in consultation SHPD, shall prepare an archaeological monitoring plan ("AMP") that meets the standards of Hawai'i Administrative Rules Chapter 13-279, and implement the AMP during ground-disturbing activity and Project construction to ensure that archaeological historic and cultural resources are properly identified and treated. The AMP must include the onsite



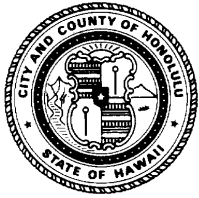
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presence of a SHPD-approved archaeologist during excavation work to ensure that any discoveries of iwi kūpuna or other historic or cultural resources are appropriately handled.

4. The Applicant shall consult with SHPD to implement all mitigation protocols approved or otherwise required by SHPD, and under the AIS and any AMP for all historic and cultural resources (including iwi kūpuna) discovered on the Project site. Prior to the commencement of ground-disturbing activity and Project construction, a coordination meeting must be conducted among the Project's archaeological consultants, the construction contractor, and applicable subcontractors to ensure that the construction contractor and applicable subcontractors have been informed of all mitigation protocols required by SHPD, and under the AIS and any AMP.
5. If during construction, any previously unidentified archaeological sites or remains (such as artifacts, shell, bone, or charcoal deposits, human burials, rock or coral alignments, pavings, or walls) are encountered, the Applicant shall stop work, protect the find from further disturbance, and contact SHPD immediately. Work in the immediate area must be stopped until SHPD is able to assess the impact and make further recommendations for mitigative activity.

The requirements enumerated in this condition, and all mitigation protocols approved or otherwise required by SHPD, and under the AIS and any AMP, must be clearly stated under "Environmental Notes" on all Project construction permit plans and building permit plans.

- E. To minimize impacts to threatened, endangered, or protected avian, marine, and terrestrial fauna that may frequent or traverse the vicinity of the Project site, the Applicant is responsible for the following:
 1. All new and replacement outdoor light fixtures must not exceed a color temperature of 3,000 degrees kelvin.
 2. Artificial light from exterior light fixtures on the Project site, including but not limited to floodlights, uplights, or spotlights used for decorative or aesthetic purposes, is prohibited if the light directly illuminates, or is directed across property boundaries toward, the shoreline and ocean



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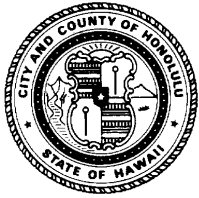
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waters, except as may otherwise be permitted pursuant to HRS § 205A-71(b).

3. Exterior lighting fixtures on the Project site must be fully shielded using full cutoff fixtures with the light directed downward so that the light bulb is only visible from below the light fixture.
4. All Project site work and construction activities are limited to daylight hours (sunrise to sunset).
5. Woody plants greater than 15 feet in height may not be disturbed, removed, or trimmed during the Hawaiian hoary bat birthing and pup rearing season (June 1 through September 15).
6. Barbless fencing must be used for all fence construction to avoid the entanglement of Hawaiian hoary bats.
7. All Project-related activities must cease if a Hawaiian monk seal, green sea turtle, or Hawksbill turtle is present on land within 150 ft. of the work area, or as recommended by State of Hawai'i ("State") or federal regulations. Project activities may only recommence after the animal voluntarily leaves the area. If a monk seal pup is present on land, a 300-ft. buffer must be observed. Any Project-related debris that may pose an entanglement threat to monk seals or sea turtles must be removed from the work area at the end of each day and at the conclusion of Project-related activities.

The requirements enumerated in this condition must be clearly stated under "Environmental Notes" on all Project construction permit plans and building permit plans.

- F. To minimize the spread of invasive pathogens, pests, or plants that may harm native species and ecosystems, the Applicant is responsible for the following:
 1. As initially proposed, the Applicant estimated the importation of 56 cubic yards of structural fill material for the Project's slab-on-grade foundation and grass paver driveway. The Applicant shall minimize the importation of fill material to the extent possible by redesigning the Project's slab-on-grade foundation to a post and pier foundation or a micropile foundation.



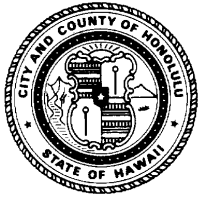
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This redesign requirement must be shown on the Project's building permit plans.

2. The Applicant shall minimize the movement of plant or soil material on the Project site, and all Project construction equipment, materials, and personnel must be cleaned of excess soil and debris prior to entering and leaving a Project worksite, in accordance with the current recommendations from the O'ahu Invasive Species Committee ("OISC").
3. Prior to the commencement of any ground-disturbing or construction activities, and upon the arrival of any new workers to the Project site, a copy of the most recently updated OISC "Decontamination Protocols for Prevention of Invasive Species" ("Protocols") must be distributed to all workers who will be present at the site, or the Protocols must be posted at the Project site in a visible location accessible to all Project workers (including delivery and haul-out contractors), or both the distribution and posting of the Protocols. All on-site Project workers must be instructed to review the species photos and all Protocols prior to commencing any ground-disturbing or construction activities.
4. If, at any time, species on the OISC invasive species target list website at <https://www.oahuisc.org/current-targets/>, or any successor website or list provided by the OISC, are discovered on the Project site, the Applicant shall immediately contact the OISC to report the discovery. The current email address and phone number for the OISC must be visibly posted at the Project site during pre-construction and construction activities. The Applicant shall implement any measures recommended by the OISC and any responsible federal or State agency charged with the eradication and management of invasive species.

The requirements enumerated in this condition must be clearly stated under "Environmental Notes" on all Project construction plans and building permit plans.

- G. To ensure the landowner is aware that bed and breakfast homes and transient vacation units are not allowed on the Project site, by proceeding with the Project, the landowner acknowledges the following declaration, which must be clearly stated on all Project building permit plans:



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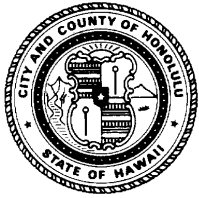
"The landowner hereby acknowledges (and any successor owner or interested party is hereby notified) that bed and breakfast homes and transient vacation units, as those terms are defined in the Revised Ordinances of Honolulu 2021, Chapter 21, the Land Use Ordinance, are not allowed on TMK 5-5-002:032."

- H. To account for the potential shift of land from the State Land Use Urban District to the State Land Use Conservation District due to anticipated coastal erosion, by proceeding with the Project, the landowner acknowledges the following declaration, which must be clearly stated under "Landowner Acknowledgements" on all Project building permit plans:

"In choosing to implement construction activities at Tax Map Key 5-5-002:032, the landowner hereby acknowledges (and any successor owner or interested party is hereby notified) that land makai of the regulatory shoreline is State public land, falls within the State Land Use Conservation District, and must remain available for public use and recreational activities. The landowner further acknowledges that should any portion of a structure encroach into State public land, the State Board of Land and Natural Resources may require the removal of the structure or a lease for the encroachments extending into the State public land. As a result of this acknowledgement, successor owners and interested parties are hereby notified of this same information and the landowner shall hold harmless and indemnify the City for any responsibility that may result from adverse impacts associated with sea level rise and coastal erosion."

- I. Following approval of this SMA Major Permit, neither the current landowner, nor any successor owner or interested party, may claim hardship due to erosion, sea level rise, or any other coastal hazard, in order to obtain approval for a Shoreline Setback Variance for a new shoreline protection structure. By proceeding with the Project, the landowner acknowledges the following declaration, which must be clearly stated under "Landowner Acknowledgements" on all Project building permit plans:

"In choosing to undertake the development at TMK 5-5-002:032, the landowner hereby acknowledges (and any successor owner or interested party is notified) that no claim of hardship due to erosion, sea level rise, or any other coastal hazard may be asserted in order



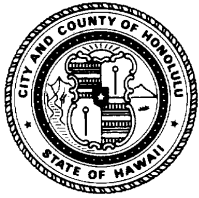
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to obtain approval for a Shoreline Setback Variance for a shoreline protection structure."

- J. To recognize the potential for adverse impacts related to coastal hazards, including but not limited to sea level rise, coastal erosion, flooding, wave action, and storm surge, by proceeding with the Project, the landowner acknowledges the following declarations, which must be clearly stated under "Landowner Acknowledgements" on all Project building permit plans:
1. *"The landowner hereby acknowledges (and any successor owner or interested party is hereby notified) that Tax Map Key 5-5-002:032 is susceptible to coastal hazards, which may result in harm or loss of life and property."*
 2. *"The landowner hereby acknowledges (and any successor owner or interested party is hereby notified) that portions of Tax Map Key 5-5-002:032 are projected to be impacted by 3.2 feet of sea level rise by the year 2100, and that portions of the two proposed dwellings are located within the 3.2-foot sea level rise exposure area ("SLR-XA"). The landowner agrees to assume all risk and liability for any harm to or loss of life and property due to development within the SLR-XA. The landowner further agrees to accept all responsibility for the cost and physical removal of materials and structures lost or damaged as a result of coastal hazards, including the cleanup and restoration of the Project site."*
- K. Permits.
1. The Project's building permit application was accepted as complete on June 26, 2024, and the Applicant must obtain a building permit for the Project no later than June 30, 2025. If the Project's building permit is not obtained by June 30, 2025, the Project may not rely on the 40-foot shoreline setback that was in effect through June 30, 2024, and must instead comply with the shoreline setback required under ROH Chapter 26 effective as of July 1, 2024.
 2. The Applicant shall obtain a construction permit or building permit for the Project within 36 months after the effective date of this SMA Major Permit. Failure to obtain a construction permit or building permit within this period



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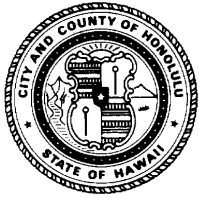
will render this SMA Major Permit null and void; provided that this period may be extended as follows:

- a. The DPP Director may extend this period if the Applicant demonstrates good cause; provided that the DPP Director may not extend the period beyond one year from the initial deadline set by the Council.
- b. If the Applicant demonstrates good cause for an extension exceeding one year, the DPP Director shall prepare and submit to the Council a report on the proposed extension that includes the DPP Director's findings and recommendations thereon. The Council may approve the proposed extension, or approve an extension for a shorter or longer period, or deny the proposed extension, by adoption of a committee report or resolution.
- c. If the Council fails to take final action on the proposed extension within the first to occur of:
 - i. Sixty days after receipt of the DPP Director's report; or
 - ii. The Applicant's then-existing deadline for obtaining a construction permit or building permit;

the extension will be deemed to be denied.

- L. Approval of this SMA Major Permit does not constitute compliance with other City ordinances, including but not limited to the LUO and building and construction codes, or other governmental requirements, including but not limited to LUO-related approvals, and building, grading, and grubbing permit approvals, which are subject to separate review and approval. The Applicant is be responsible for ensuring that the final plans for the Project approved under this SMA Major Permit comply with all applicable City ordinances and other governmental provisions and requirements; and

BE IT FURTHER RESOLVED that no action may be prosecuted or maintained against the City, its officials, or its employees, on account of the actions taken by them in reviewing or approving this SMA Major Permit; and



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BE IT FINALLY RESOLVED that copies of this resolution be transmitted to Steve Turley, Western Community Crossroads, LC, 55-337 Kamehameha Highway, Lāi'e, Hawai'i 96762; Dawn Takeuchi Apuna, Director of Planning and Permitting, 650 South King Street, 7th Floor, Honolulu, Hawai'i 96813; and Mary Alice Evans, Director of the State Office of Planning and Sustainable Development, Attention: Coastal Zone Management Branch, P.O. Box 2359, Honolulu, Hawai'i 96804-2359.

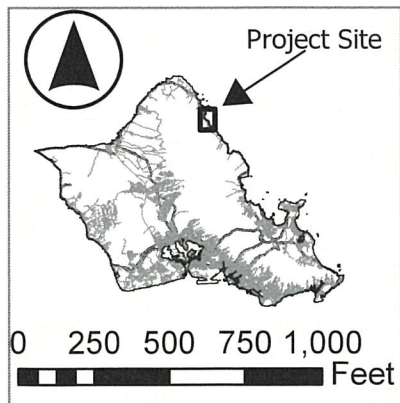
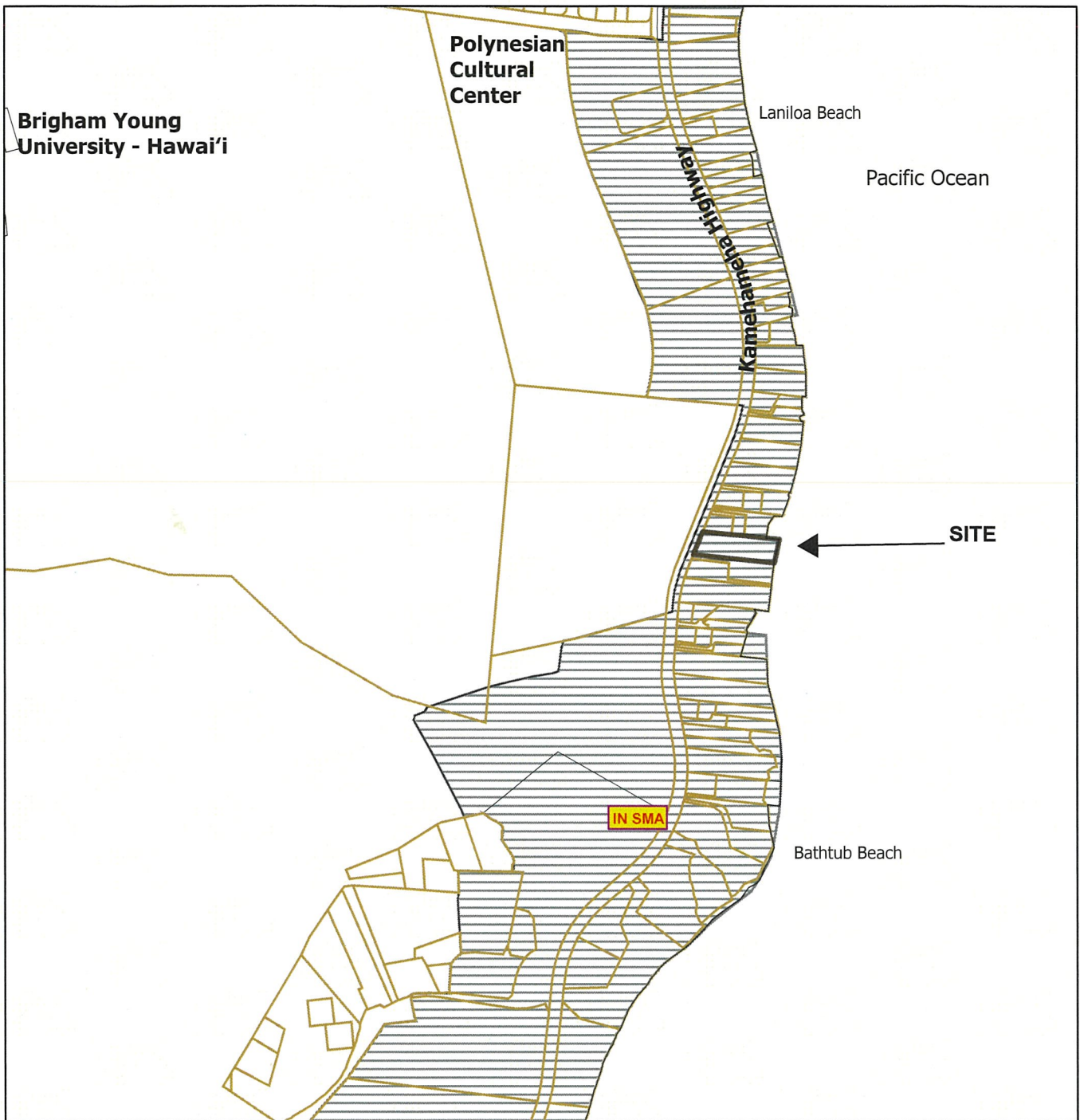
INTRODUCED BY:

Tommy Waters (br)

DATE OF INTRODUCTION:

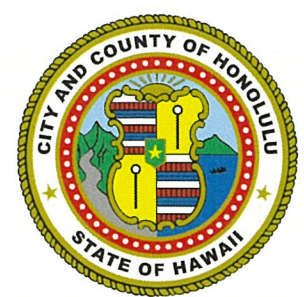
January 7, 2025
Honolulu, Hawai'i

Councilmembers

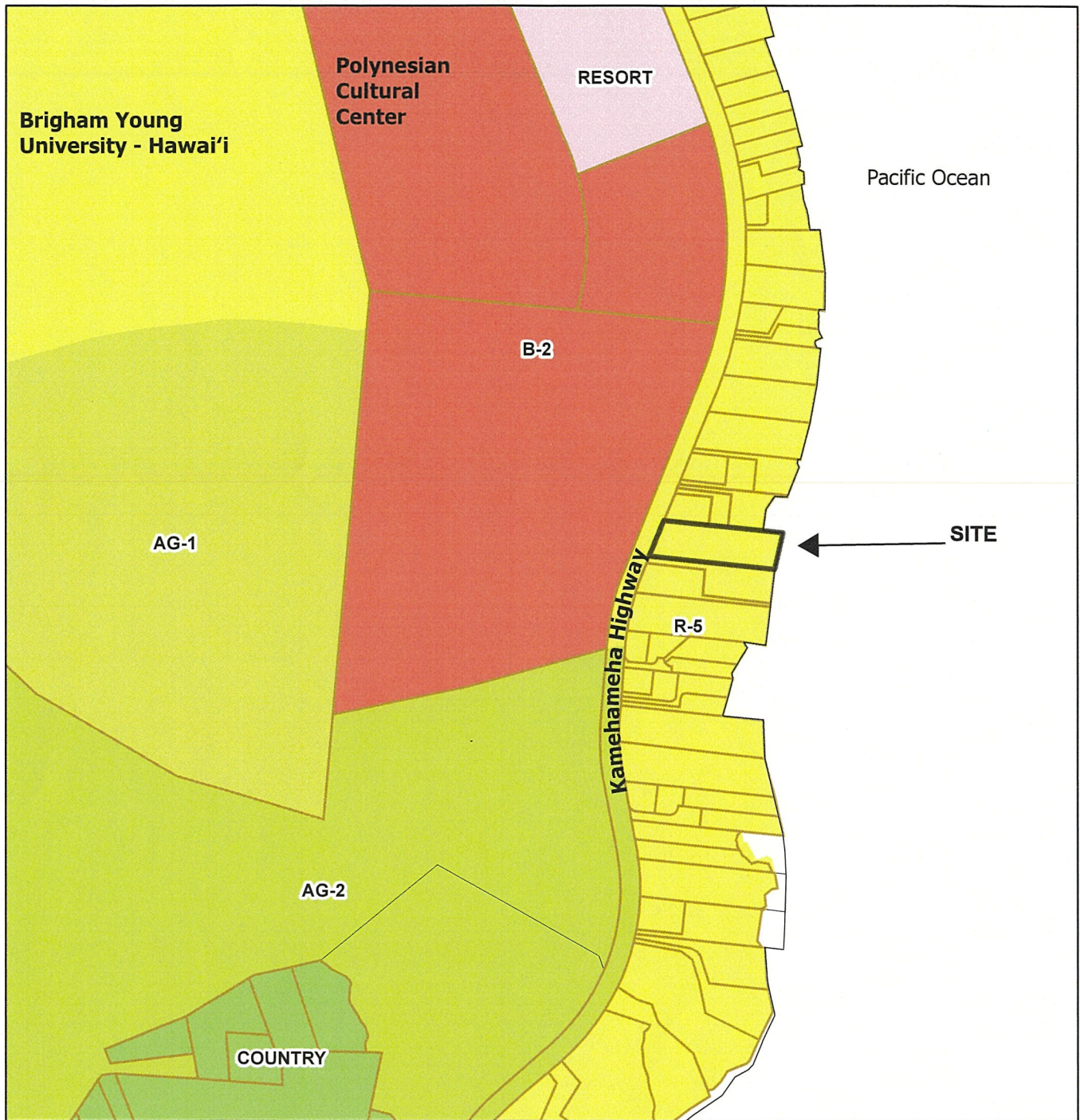


Location Map Exhibit A
File No.: 2024/SMA-81
Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway
- Laie
TMK: 5-5-002:032

Legend
 Within SMA Outside SMA



City and County of Honolulu



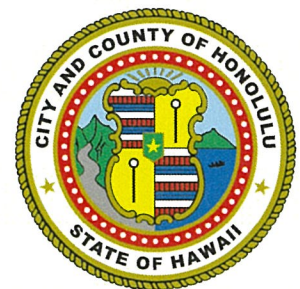
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Zoning Map Exhibit B File No.: 2024/SMA-81

Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway
- Laie
TMK: 5-5-002:032

Legend

AG-1	COUNTRY
AG-2	R-5
B-2	RESORT



City and County of Honolulu

NORTH ONE-FAMILY DWELLING

1st Floor	2286 SF
2nd Floor	1211 SF
Total Livable	3497 SF
Garage	467 SF
Deck&Balcony	406 SF
Total Non-livable	873 SF

1st Floor	2286 SF
2nd Floor	1211 SF
Total Livable	3497 SF
Garage	467 SF
Deck&Balcony	406 SF
Total Non-livable	873 SF

OWNER: WESTERN COMMUNITY CROSSROADS, LLC

PROJECT: HALE KAHAKAI MA LA'IE SOUTH

ADDRESS: 55-337 KAMEHAMEHA HWY
LAIE, HI 96762

TMK: 5-5-002: 032

(2) ONE FAMILY DWELLINGS

N. One Family	3497 SF
S. One Family	3497 SF
Total Livable	6994 SF



Exhibit C-1

REVISION TABLE		
NUMBER	DATE	DESCRIPTION

SHEET INDEX

000	TITLE SHEET		
A001	PROPOSED SITE PLAN	M001	SOUTH MECHANICAL PLAN
A002	PLOT PLAN	M002	NORTH MECHANICAL PLAN
A003	GENERAL NOTES	S005	CROSS SECTIONS
A004	SOUTH ELEVATIONS	D001	DETAILS
A005	NORTH ELEVATIONS	L001	LANDSCAPING PLAN
A006	SOUTH 1ST FLOOR PLAN	C001	CIVIL NOTES
A007	SOUTH 2ND FLOOR PLAN	C002	ESCP NOTES
A008	NORTH 1ST FLOOR PLAN	C101	EROSION SEDIMENT CONTROL PLAN
A009	NORTH 2ND FLOOR PLAN	C102	RESIDENTIAL SWMP
S001	FOUNDATION PLAN	C103	GRADING PLAN
S002	FLOOR FRAMING PLAN	C104	UTILITY PLAN
S003	1ST FLOOR ROOF FRAMING PLAN	C201	GRADING SECTIONS
S004	2ND FLOOR ROOF FRAMING PLAN	C301	DETAILS
E001	SOUTH ELECTRICAL PLAN	C401	SURVEY
E002	NORTH ELECTRICAL PLAN		



Demo 3 Ex:TFD and Proposed 2 New SFD
Western Community Crossroads, LLC
55-337 Kamehameha Hwy, Laie, Hawaii 96762
TMK: 5-5-002: 032

HALE KAHAKAI
MA LA'IE

DESIGNED BY:
CBC
Civil & Building
Consulting
LLC

DATE:

7/22/2024

TITLE SHEET

SHEET:

000

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FOR ARCHITECTURE
SPECIFIC ITEMS ONLY BY
KINLEY C. PUZEY, LICENSED
ARCHITECT

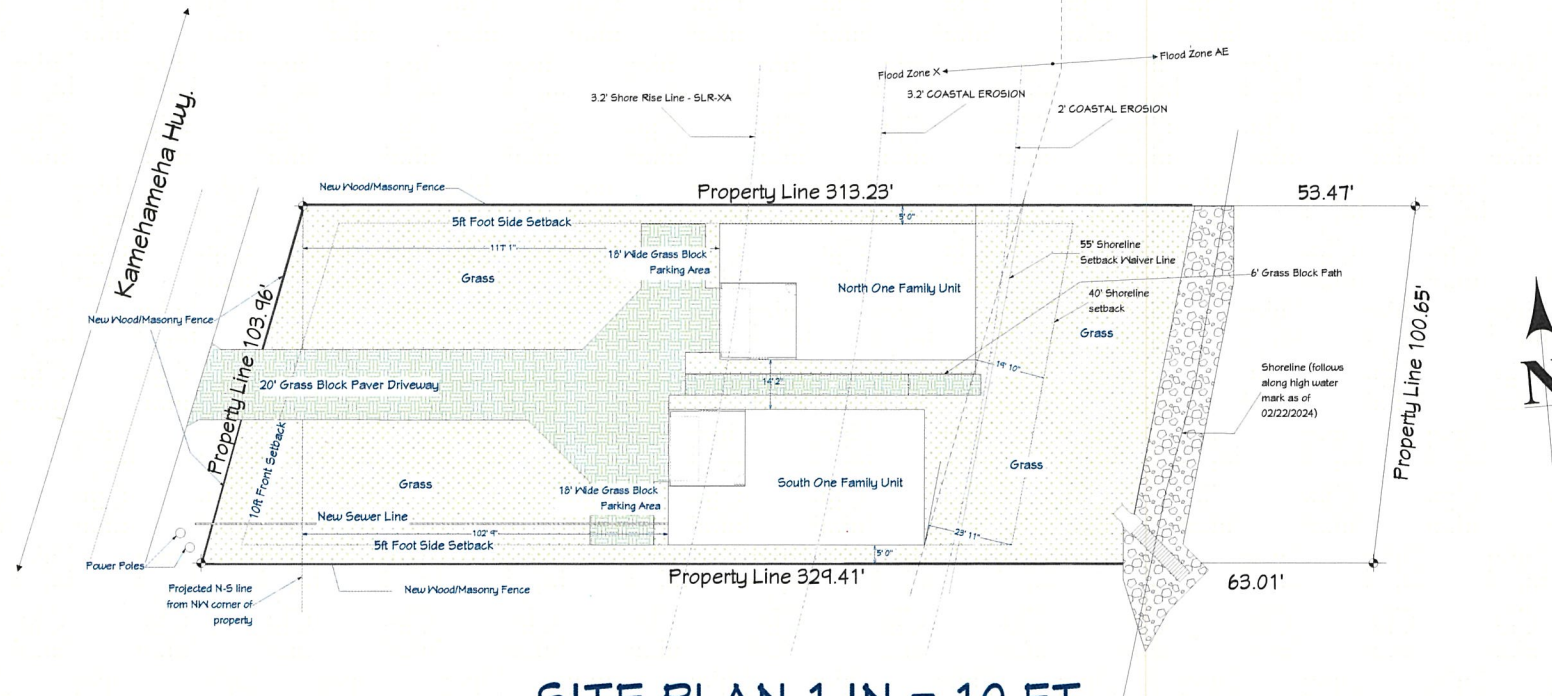
ONYX PROJECT: 24.024
DATE: 12/17/2024



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K. C. Puzey
Signed: 12/17/2024
License Expires: 4/30/2026

Exhibit C-2

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION



SITE PLAN 1 IN = 10 FT



VICINITY MAP NTS

55-337 Kamehameha Hwy,
Lale, Hawaii, 96762

HALE KAHAKAI
MA LA'IE

DRAWINGS PROVIDED BY:
CSC Design
1627 E. Indigo St.
Mesa, AZ 85204
cscdesign@gmail.com

DATE:
12/17/2024

SITE PLAN

SHEET:

A001

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STRUCTURAL ENGINEERING
SPECIFIC ITEMS ONLY BY
COLE C JANISCH STRUCTURAL
ENGINEERING

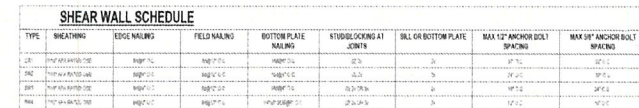
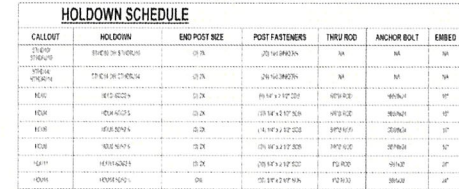
CCJSE PROJECT 24118
DATE: 6/25/2024



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Signed: 8/25/2021
License Expires: 4/30/2026

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION



1	2FT WIDE X 2FT DEEP STRIP FOOTING W/ (2) #4 LONG BARS, TOP AND BOTTOM
2	14" WIDE X 12" DEEP STRIP FOOTING W/ (2) #4 LONG BARS, BOTTOM
3	26" WIDE X 2FT DEEP STRIP FOOTING W/ (2) #4 LONG BARS, TOP AND BOTTOM

FOUNDATION PLAN $1/4" = 1'0"$

1 0 1 2

$1/4'' = 1' 0''$

HALE KAHAKAI
MALA'IE

CBC
design and building service, llc

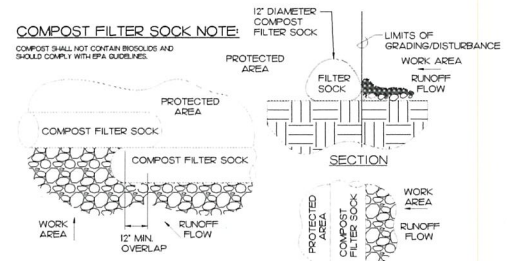
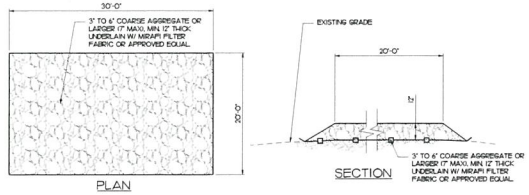
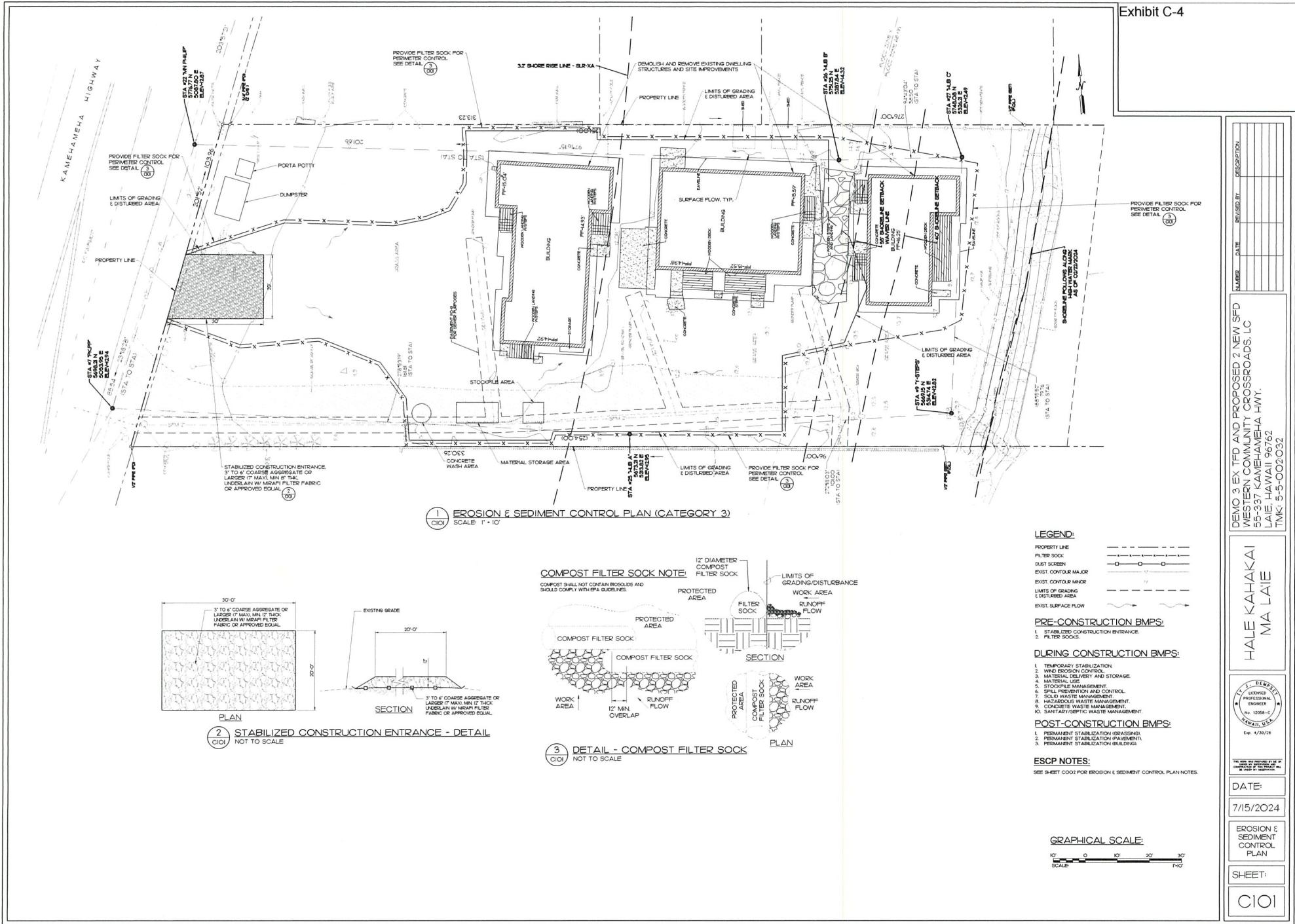
DATE: _____

7/22/2024

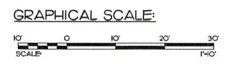
FOUNDATION PLAN

SHEET:

5001



- LEGEND:**
- PROPERTY LINE
 - DUST SCREEN
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - LIMITS OF GRADING & DISTURBED AREA
 - EXIST. SURFACE FLOW
- PRE-CONSTRUCTION BMPs:**
1. STABILIZED CONSTRUCTION ENTRANCE
 2. FILTER SOCKS
- DURING CONSTRUCTION BMPs:**
1. TEMPORARY STABILIZATION
 2. WIND EROSION CONTROL
 3. MATERIAL DELIVERY AND STORAGE
 4. MATERIAL USE
 5. STOCKPILE MANAGEMENT
 6. SPILL PREVENTION AND CONTROL
 7. SOLID WASTE MANAGEMENT
 8. HAZARDOUS WASTE MANAGEMENT
 9. CONCRETE WASTE MANAGEMENT
 10. SANITARY TOILET WASTE MANAGEMENT
- POST-CONSTRUCTION BMPs:**
1. PERMANENT STABILIZATION (GRASSING)
 2. PERMANENT STABILIZATION (PAVEMENT)
 3. PERMANENT STABILIZATION (BUILDING)
- ESCP NOTES:**
- SEE SHEET C002 FOR EROSION & SEDIMENT CONTROL PLAN NOTES.



NUMBER	DATE	REVISION BY	DESCRIPTION

DEMO 3 EX TFD AND PROPOSED 2 NEW SFD
WESTERN COMMUNITY CROSSROADS, LC
55-337 KAMEHAMEHA HWY.
LAIE, HAWAII 96762
TMK: 5-5-002032

HALE KAHAKAI
MA LAIE

CIOI

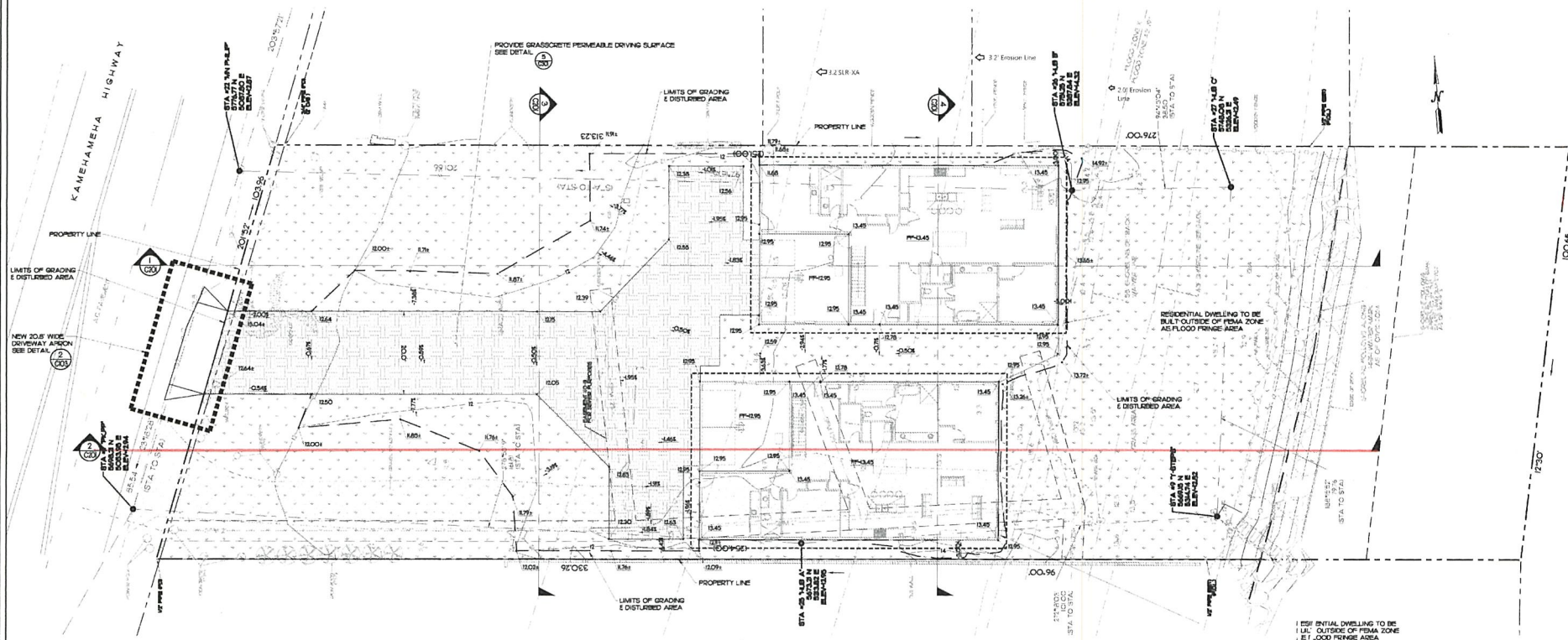
DATE: 7/15/2024

EROSION & SEDIMENT CONTROL PLAN

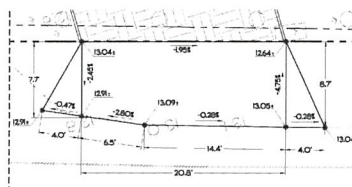
SHEET: CIOI

LEGEND

PROPERTY LINE	
EXIST. CONTOUR	
SPOT ELEVATION PROPOSED	33.00
PROPOSED CONTOUR MAJOR	50
PROPOSED CONTOUR MINOR	51
LIMITS OF GRADING AND DISTURBED AREA	
PROPOSED GRADE SLOPE	3:00H
FINISH GRADE AT TOP OF WALL	
EXISTING GRADE AT BOTTOM OF WALL	



1 GRADING PLAN
SCALE 1" = 10'



2 DRIVEWAY APRON DETAIL
SCALE 1" = 5'

EARTHWORK QUANTITIES:

(FOR PERMIT PURPOSES ONLY)

AREA TO BE GRADED

AREA TO BE DISTURBED

EXCAVATION

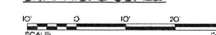
EMBANKMENT

14 CY

70 CY

NOTE: EARTHWORK VOLUMES BASED ON PROPOSED SURFACE TO EXISTING SURFACE COMPARISON AS GENERATED IN CIVIL 3D CAD PROGRAM. QUANTITIES BASED ON FINISH SURFACE TO EXISTING SURFACE WITH PERMEABLE GRASSCOTE PAVED THICKNESS REMOVED FROM QUANTITIES. AREA UNDER BUILDINGS ARE EXCLUDED FROM THE GRADED AREA AND IS COVERED UNDER THE BUILDING PERMITS.

GRAPHICAL SCALE:



NUMBER	DATE	REVIEWED BY	DESCRIPTION

DEMO 3 EX TFD AND PROPOSED 2 NEW SFD
WESTERN COMMUNITY CROSSROADS, LC
55-337 KAMEHAMEHA HWY.
LAIE, HAWAII 96762
TNK: 5-5-002032

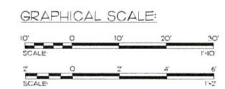
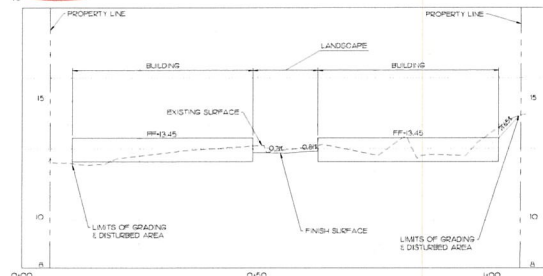
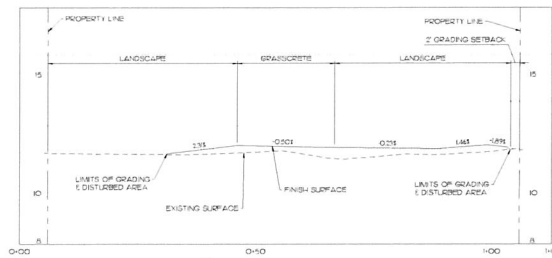
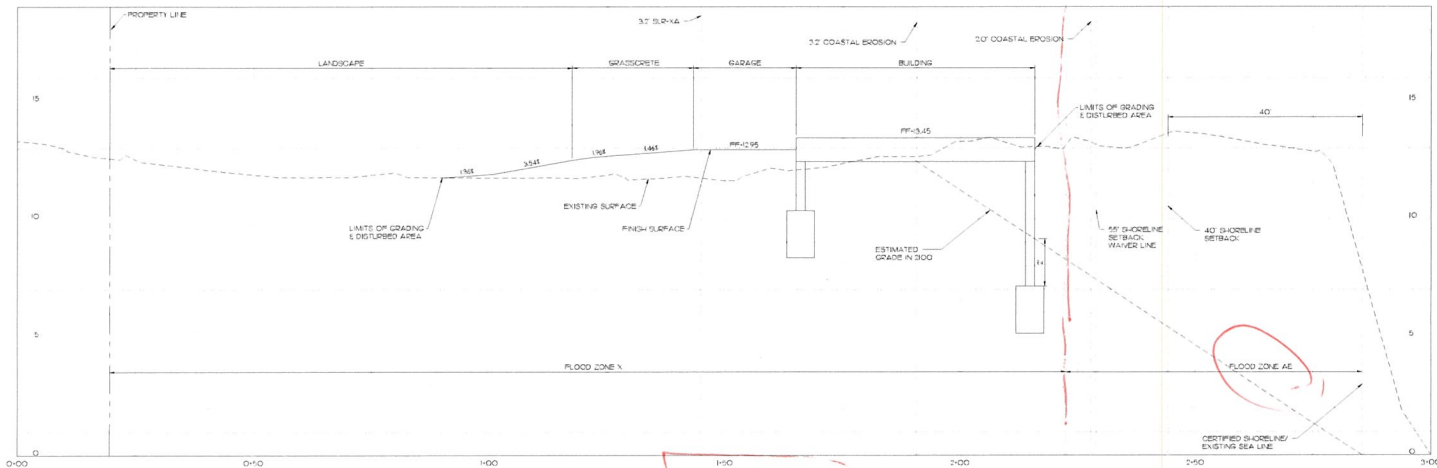
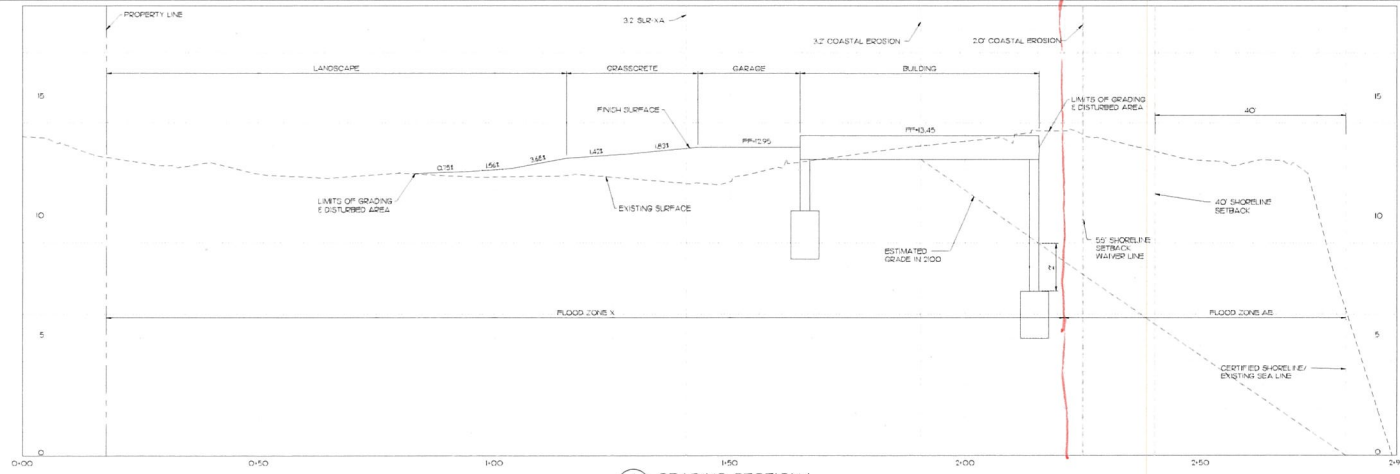
HALE KAHAKAI
MA LAIE

DATE:

GRADING
PLAN

SHEET:

C103



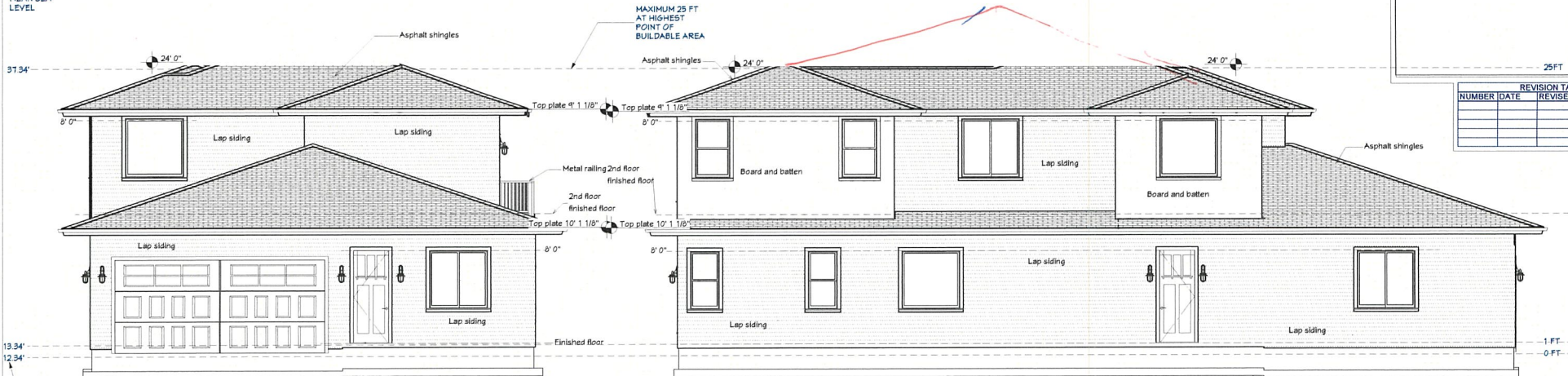
NUMBER	DATE	REVISION BY	DESCRIPTION

DEMO 3 EXISTING AND PROPOSED 2 NEW SFD
WESTERN COMMUNITY CROSSROADS, LC
55-337 KAHAKAI LAKE HWY
LAIE, HAWAII 96763
TNG: 5-5-002032

HALE KAHAKAI
NIA LAIE

DATE:
12/18/2024
GRADING SECTIONS
SHEET:
C201

ABOVE
MEAN SEA
LEVEL



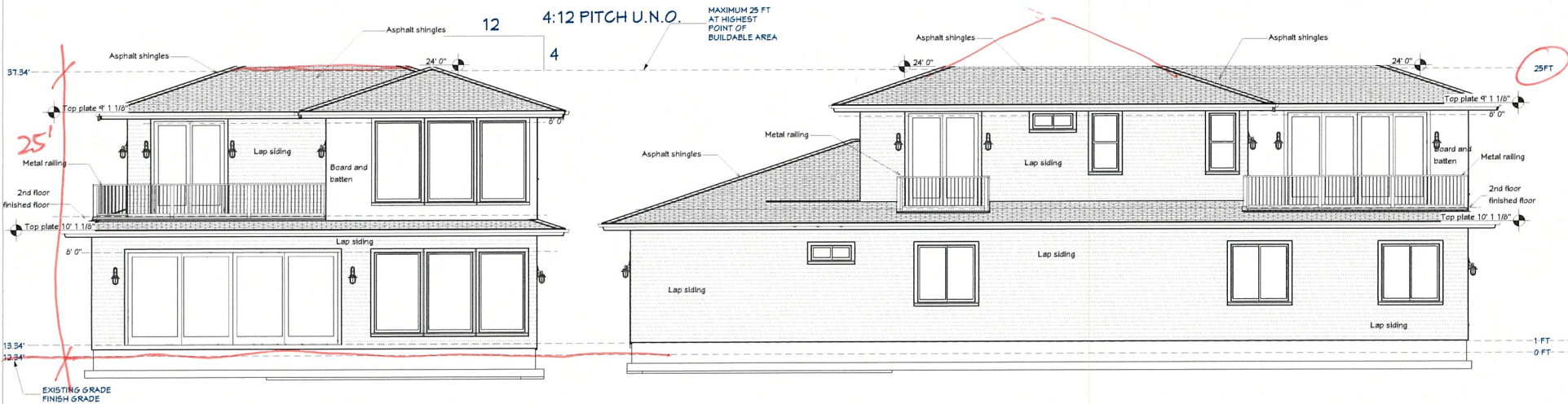
REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

South One Family Dwelling Front Elevation

1/4" = 1' 0"

South One Family Dwelling Left Elevation

1/4" = 1' 0"



South One Family Dwelling Rear Elevation

1/4" = 1' 0"

South One Family Dwelling Right Elevation

1/4" = 1' 0"

55-337 Kanehameha Hwy,
Lale, Hawaii, 96162

HALE KAHAKAI
MA LA'IE

DRAWINGS PROVIDED BY:
C&C Design
1427 E. Indigo St.
Mesa, AZ 85204
c&cddr@icloud.com

DATE:
12/18/2024

SOUTH
ELEVATIONS

SHEET:
A004

King Stud Quantities10' Max. Height

Exterior Openings	1 King stud (Min)
Exterior Openings <= 3' 6"	1 King stud (Min)
Exterior Openings > 3' 6" and < 9' 0"	2 King studs (Min)
Exterior Openings > 9' 0" and < 14' 0"	3 King studs (Min)
Exterior Openings > 14' 0" and < 20' 0"	4 King studs (Min)

King Stud Quantities12' Max Height

Interior Openings	1 king stud (Min)
Exterior Openings <= 5' 0"	2 King studs (Min)
Exterior Openings > 5' 0" and < 9' 0"	3 King studs (Min)
Exterior Openings > 9' 0" and < 13' 0"	4 king studs (Min)

King Stud Quantities16' Max Height

Interior Openings	1 King stud (Min)
Exterior Openings <= 2' 0"	2 King stud (Min)
Exterior Openings > 2' 0" and < 4' 0"	3 King studs (Min)
Exterior Openings > 4' 0" and < 6' 0"	3 King studs (Min)

BUILDING CODES

2018 International Residential Code
 2018 International Mechanical Code
 2018 International Plumbing Code
 2018 International Fuel Gas Code
 2018 International Energy Conservation Code
 2018 International Fire Code
 2017 National Electrical Code
 2018 International Green Construction Code as a Voluntary Code

REVISION TABLE		
NUMBER	DATE	REVISION DESCRIPTION

THIS SHEET WAS SEALED
 FOR ARCHITECTURE
 SPECIFIC ITEMS ONLY BY
 KINLEY C. PUEZY, LICENSED
 ARCHITECT

ONLY PROJECT 24 024
 DATE: 6/26/2024



THIS WORK WAS PREPARED BY ME
 OR UNDER MY SUPERVISION
 K. L. P. Inc.
 Signed: 12/23/2024
 License Expires: 4/30/2028

Demo 3 EXT'D and Proposed 2 New SFD
 55-331 Kamehameha Hwy, Laie, Hawaii 96762
 TMK: 5-5-022-032

**HALE KAHAKAI
 MA LA'IE**

DRAWINGS PROVIDED BY:
CBC
 design and building services, llc

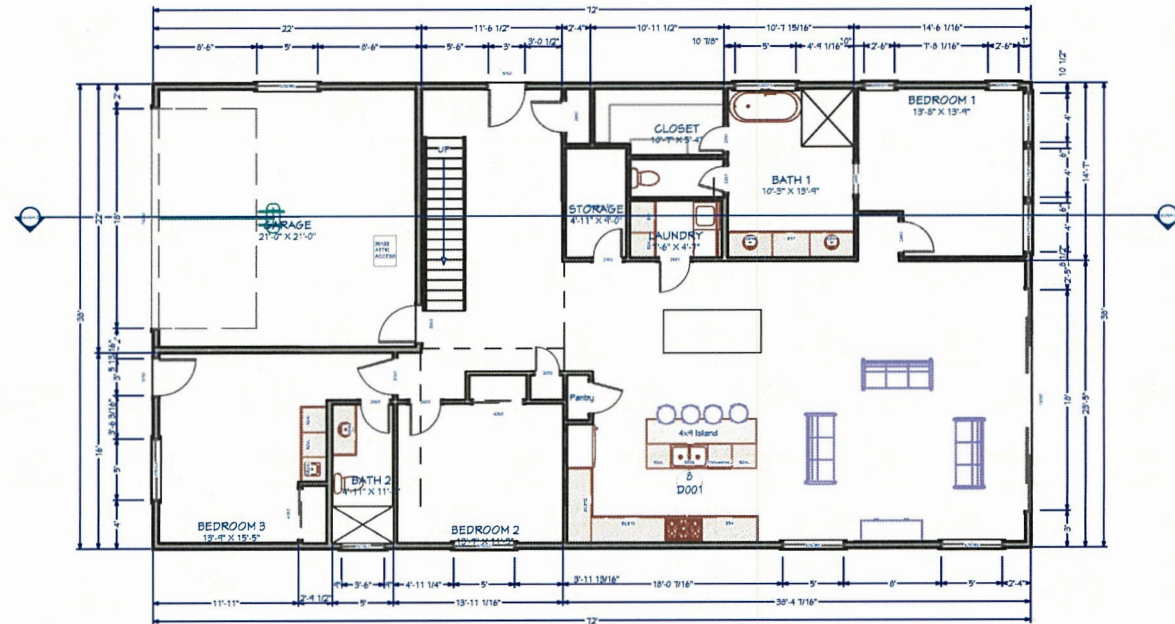
DATE:

7/22/2024

SOUTH 1ST
FLOOR PLAN

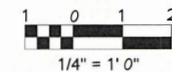
SHEET:

A006



South One Family 1st Floor Plan

1/4" = 1' 0"



King Stud Quantities

10' Max. Height

Exterior Openings	1 King stud (Min)
Exterior Openings <= 3' 6"	1 King stud (Min)
Exterior Openings > 3' 6" and < 9' 0"	2 King studs (Min)
Exterior Openings > 9' 0" and < 14' 0"	3 King studs (Min)
Exterior Openings > 14' 0" and < 20' 0"	4 King studs (Min)

King Stud Quantities

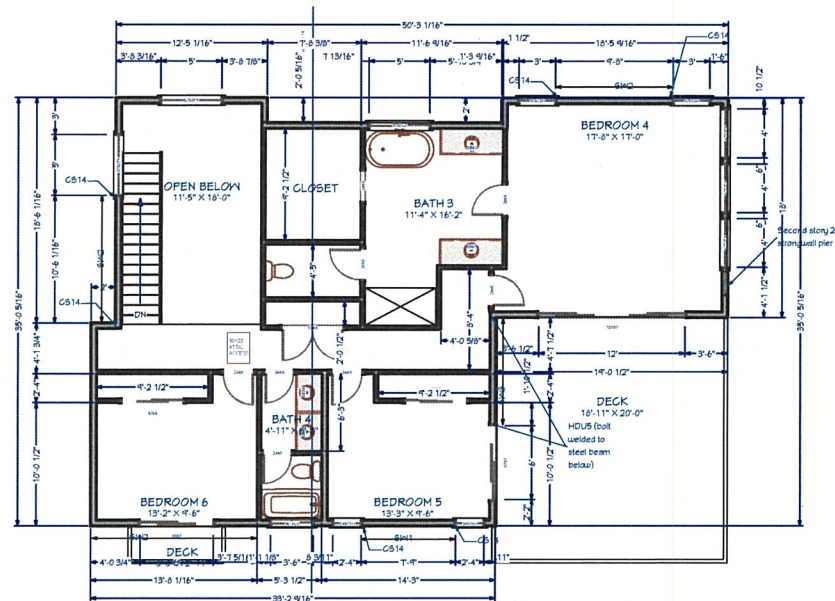
12' Max Height

Interior Openings	1 king stud (Min)
Exterior Openings <= 5' 0"	2 King studs (Min)
Exterior Openings > 5' 0" and < 9' 0"	3 King studs (Min)
Exterior Openings > 9' 0" and < 13' 0"	4 king studs (Min)

King Stud Quantities

16' Max Height

Interior Openings	1 King stud (Min)
Exterior Openings <= 2' 0"	2 King stud (Min)
Exterior Openings > 2' 0" and < 4' 0"	3 King studs (Min)
Exterior Openings > 4' 0" and < 6' 0"	3 King studs (Min)



South One Family 2nd Floor Plan

1/4" = 1' 0"

Exhibit C-9



REVISION TABLE	
NUMBER	DATE

Demo 3 Ex-TED and Proposed 2 New SFD
Western Community Crossroads, LLC
55-337 Kamehameha Hwy, Lale, Hawaii 96762
TMK: 5-5-002-032

HALE KAHAKAI
MA LA'IE

DRAWINGS PROVIDED BY:
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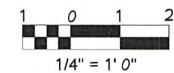
DATE:

7/22/2024

SOUTH 2ND
FLOOR PLAN

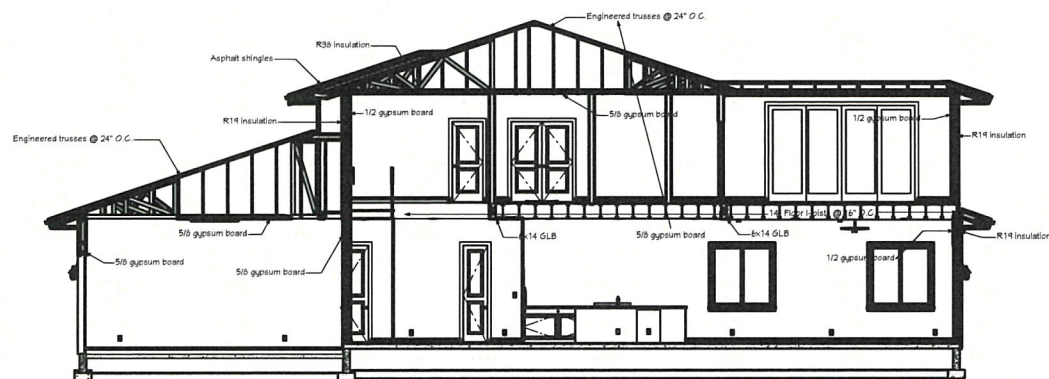
SHEET:

A007

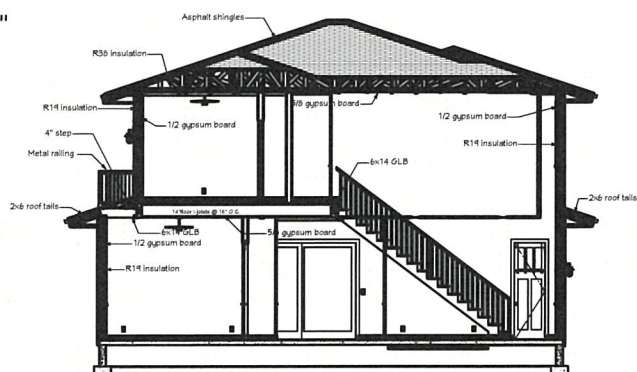


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 ONYX PROJECT: 24 024
 DATE: 6/26/2024
 KIMLEY C. FUZEY
 LICENSED PROFESSIONAL ARCHITECT
 No. AR 20511
 HAWAII, U.S.A.
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 K-L P
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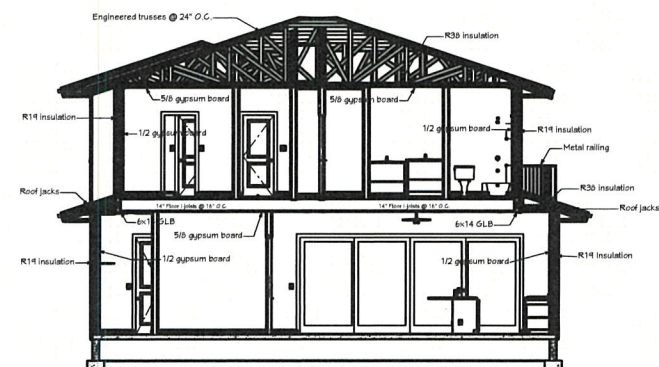
REVISION TABLE	
NUMBER	DATE



Cross Section A
 1/4" = 1' 0"



Cross Section B
 1/4" = 1' 0"



Cross Section C
 1/4" = 1' 0"



Demo 3 Ex: TED and Proposed 2 New SFD
 Western Community Crossroads, LLC
 55-337 Kamehameha Hwy, Laila, Hawaii 96762
 TMK: 5-5-002-032

HALE KAHAKAI
 MA LA'IE

DESIGN PROVIDED BY:
CBC
 design and building service, llc

DATE:
 7/22/2024

CROSS SECTIONS

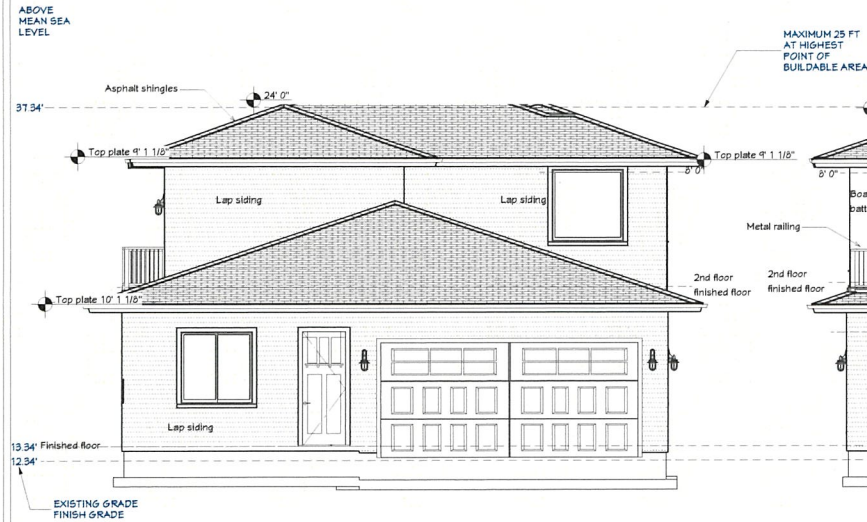
SHEET:
 S005

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COLE C. JAMESCH STRUCTURAL
ENGINEERING
CCJSE PROJECT 24118
DATE: 6/25/2024

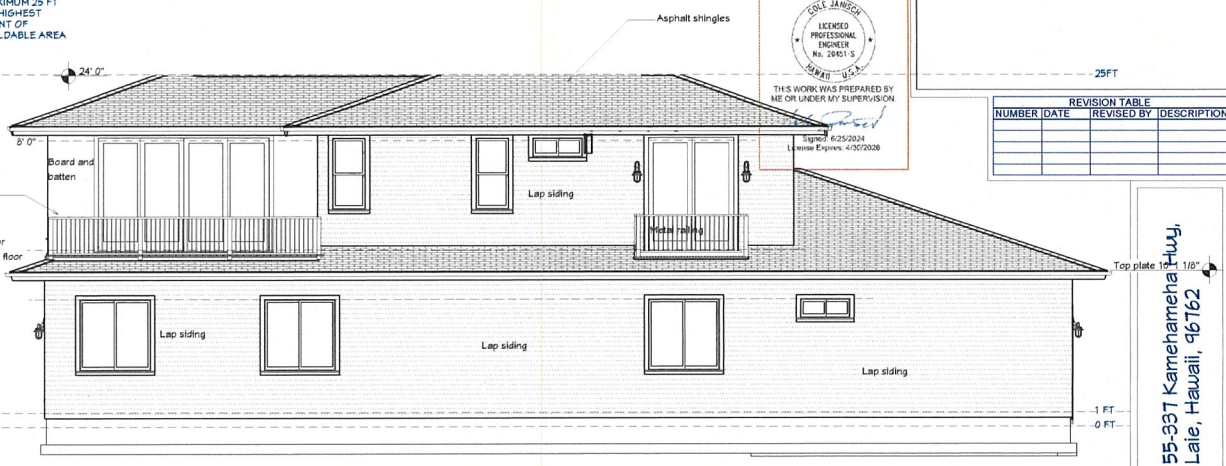
COLE JAMESCH
LICENSED
PROFESSIONAL
ENGINEER
No. 28411 S
HAWAII, U.S.A.

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ME OR UNDER MY SUPERVISION
Signed: 6/25/2024
License Expires: 4/30/2028

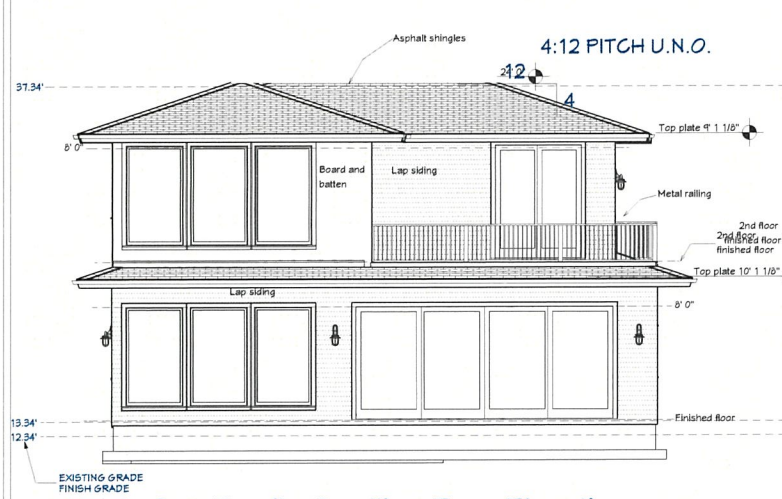
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NUMBER	DATE	REVISOR	DESCRIPTION



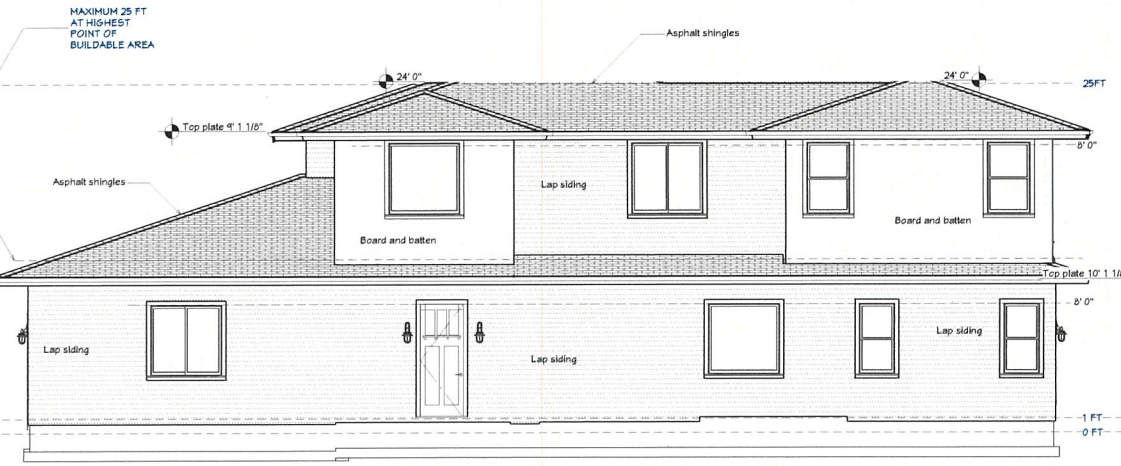
North One Family Dwelling Front Elevation
1/4" = 1' 0"



North One Family Dwelling Left Elevation
1/4" = 1' 0"



North One Family Dwelling Rear Elevation
1/4" = 1' 0"



North One Family Dwelling Right Elevation
1/4" = 1' 0"

55-337 Kamehameha Hwy,
Lale, Hawaii, 96762

HALE KAHAKAI
MA LAIE

DRAWINGS PROVIDED BY:
CBC Design
1627 E. Indigo St.
Mesa, AZ 85204
cbcdrilling@gmail.com

DATE:
12/18/2024

NORTH
ELEVATIONS

SHEET:

A005

King Stud Quantities 10' Max Height	
Exterior Openings	1 King stud (Min)
Exterior Openings <= 3' 6"	1 King stud (Min)
Exterior Openings > 3' 6" and < 9' 0"	2 King studs (Min)
Exterior Openings > 9' 0" and < 14' 0"	3 King studs (Min)
Exterior Openings > 14' 0" and < 20' 0"	4 King studs (Min)

King Stud Quantities 12' Max Height	
Interior Openings	1 king stud (Min)
Exterior Openings <= 5' 0"	2 King studs (Min)
Exterior Openings > 5' 0" and < 9' 0"	3 King studs (Min)
Exterior Openings > 9' 0" and < 13' 0"	4 king studs (Min)

King Stud Quantities 16' Max Height	
Interior Openings	1 King stud (Min)
Exterior Openings <= 2' 0"	2 King stud (Min)
Exterior Openings > 2' 0" and < 4' 0"	3 King studs (Min)
Exterior Openings > 4' 0" and < 6' 0"	3 King studs (Min)

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ONVX PROJECT: 24 024
DATE: 6/26/2024

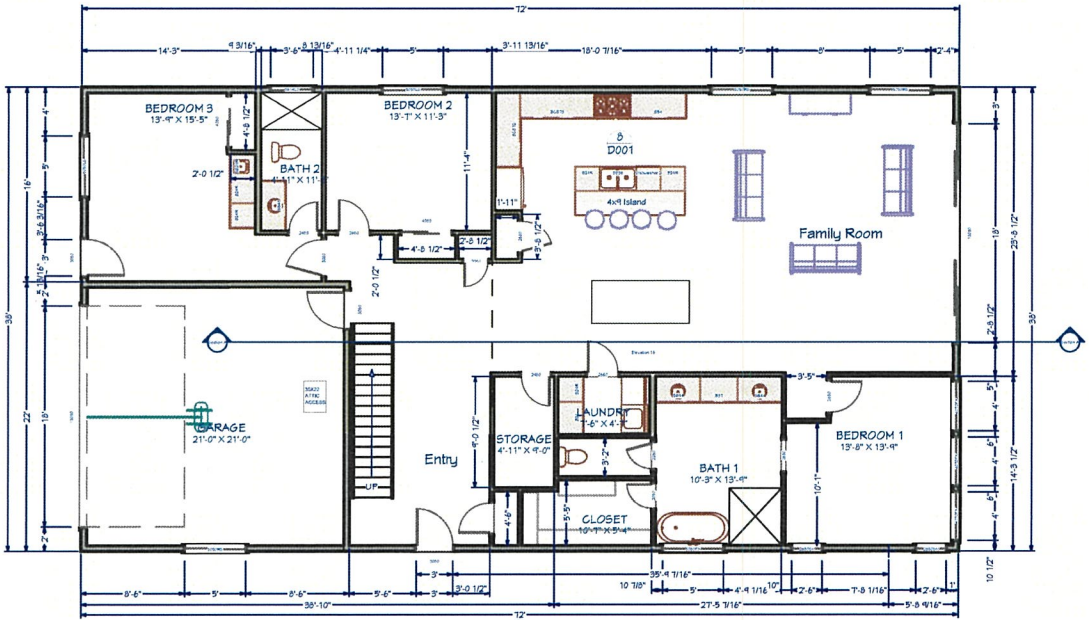


KINLEY C. PUZEY
PROFESSIONAL ARCHITECT
NO. 48120511
HAWAII, U.S.A.

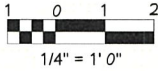
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K-L P-1-1
Signed: 10/20/2024
License Expires: 4/30/2028

Exhibit C-12

REVISION TABLE	
NUMBER	DATE



North One Family 1st Floor Plan
1/4" = 1' 0"



Demo 3 Ex-TFD and Proposed 2 New SFD
Western Community Crossroads, LLC
55-937 Kamehameha Hwy, Lale, Hawaii 96762
TMK: 5-5-002-032

HALE KAHAKAI
MA LA'IE

DESIGNER:
CBC
design and building service, llc

DRAWINGS PROVIDED BY:

DATE:
7/22/2024

NORTH 1ST
FLOOR PLAN

SHEET:
A008

ONYX PROJECT: 24 024
DATE: 6/26/2024



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OR UNDER MY SUPERVISION

K... P...
Signed: 7/23/2024
License Expires: 4/30/20

Exhibit C-13

[illegible]

Demo 3 Ex TFD and Proposed 2 New SFD
Western Community Crossroads, LC
55-337 Kamehameha Hwy, Laie, Hawaii 96762
TMK: 5-5-002: 032

HALE KAHAKAI
MAI A'IE

CBC

DRAWINGS PROVIDED BY:

CBC Design
1277 E. Indian St.
Mesa, AZ 85204
602-661-9700
cbcdesign@primal.com

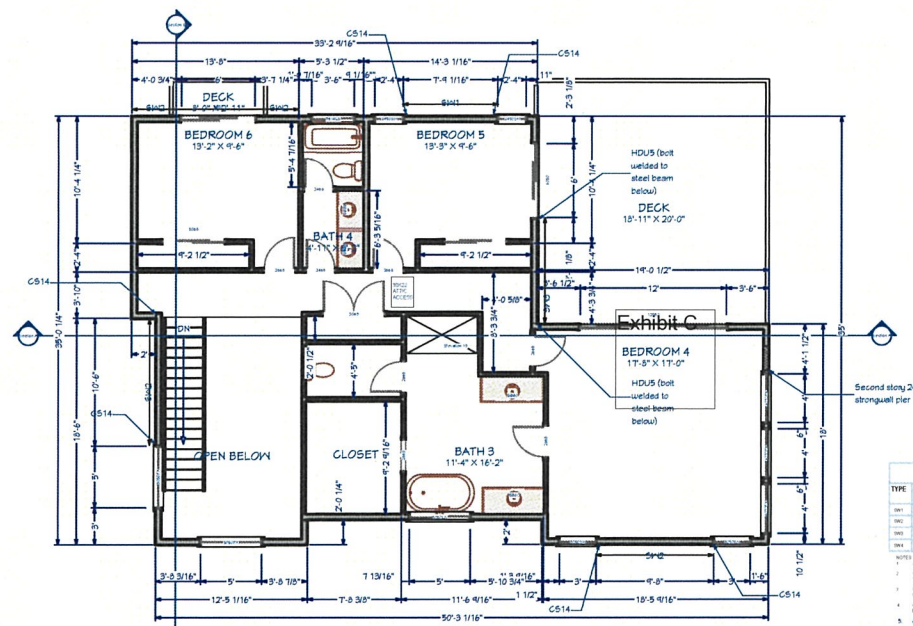
DATE:

7/22/2024

NORTH 2ND
FLOOR PLAN

SHEET:

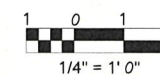
A009

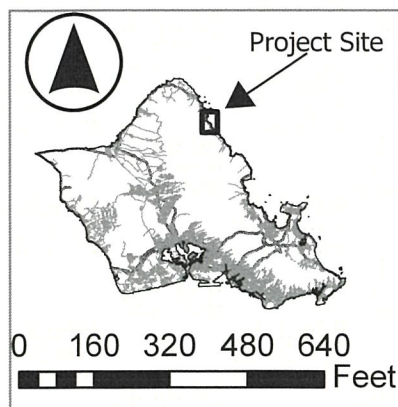
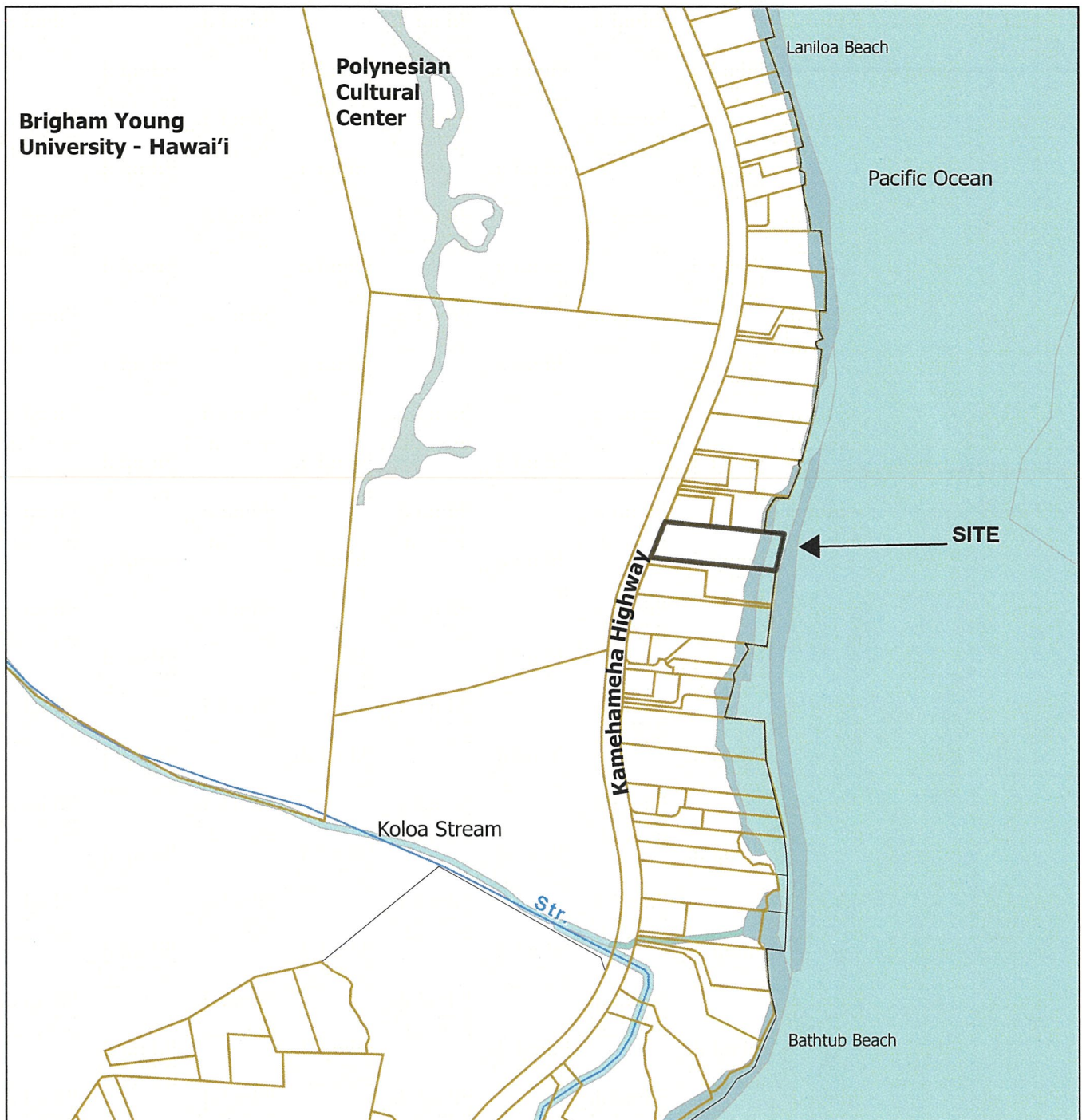


North One Family 2nd Floor Plan
1/4" = 1' 0"

SHEAR WALL SCHEDULE								
TYPE	BREATHING	EDGE NAILING	FIELD NAILING	BOTTOM PLATE NAILING	STUCCO LOCKING AT JOINTS	DEEL OR BOTTOM PLATE	MAX 10" ANCHOR BOLT SPACING	MAX 5/8" ANCHOR BOLT SPACING
SW1	1" x 4" SPS-1000-000	1" x 6" D.C.	1" x 6" D.C.	1" x 6" D.C.	2" x 2"	2"	2' 0"	2' 0"
SW2	1" x 4" SPS-1000-000	1" x 6" D.C.	1" x 6" D.C.	1" x 6" D.C.	2" x 2"	2"	2' 0"	2' 0"
SW3	1" x 4" SPS-1000-000	1" x 6" D.C.	1" x 6" D.C.	1" x 6" D.C.	2" x 2" x 1/2"	2" x 2" x 1/2"	1" x 6"	2' 0"
SW4	1" x 4" SPS-1000-000	1" x 6" D.C.	1" x 6" D.C.	1" x 6" D.C.	2" x 2" x 1/2"	2" x 2" x 1/2"	1" x 6"	2' 0"

DATE	OFFICIAL NAME	PAGE 1 OF 2	PAGE 2 OF 2	ISSUE NO.
NOTES				
1	ALL STUDS ARE DRYLAC OR HEMFRAZ OR BETTER			
2	USE #4 COMMON WIRE NAILS USE HOT DIPPED GALVANIZED NAILS WHEN NAILING TO PRESTRESSER TREATED LUMBER			
3	PROVIDE END POST AT EACH END OF SHEAR WALL			
4	ANCHORS TO BE 1" DIA. 200LT IN 7" MIN. EMBEDDING			
5	REINFORCING BARS SHALL BE #4 OR #5			



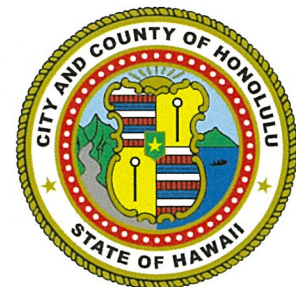


Wetlands Map Exhibit D File No.: 2024/SMA-81

Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway
- Laie
TMK: 5-5-002:032

Legend

 Estuarine and Marine Deepwater	 Freshwater Forested/Shrub Wetland
 Estuarine and Marine Wetland	 Freshwater Pond
	 Riverine



City and County of Honolulu

Exhibit E

KAMEHAMEHA HIGHWAY

PORTION OLD KAMEHAMEHA HWY. (154 Sq. Ft.)
PORTION R.P. 7494, L.C. AW. 8559B
APS. 35 AND 36 TO W.C. LUNALILO

TRUE NORTH
SCALE: 1 IN. = 30 FT.

The shoreline as delineated in red is hereby certified as the shoreline as of

SEP 13 2024

Chairperson, Board of Land and Natural Resources

PROPERTY ADDRESS: 55-337 KAMEHAMEHA HIGHWAY
LAIE, HI 96762

PROPERTY OWNER: WESTERN COMMUNITY CROSSROADS LC
1480 S. STATE STREET
PROVO, UT 84606

MAP SHOWING SHORELINE

AFFECTING LOT 12

LAND COURT APPLICATION 772 (MAP 1)
AND PORTION OLD KAMEHAMEHA HIGHWAY
BEING PORTION R.P. 7494, L.C. AW. 8559B
APS. 35 AND 36 TO W.C. LUNALILO

AT LAIE, KOOLAULO, OAHU, HAWAII

SCALE: 1 IN. = 30 FT.

FEBRUARY 22, 2024 WALTER P. THOMPSON, INC.

LOT 11-A-1
TMK: 5-5-002: 057

GROSS AREA
32,174 Sq. Ft.
26,462 Sq. Ft.
(LESS EROSION)

LOT 115-A
TMK: 5-5-002: 031

LOT 115-B
TMK: 5-5-002: 084

LOT 115-C
TMK: 5-5-002: 085

LOT 11-A-2
TMK: 5-5-002: 033

FLOOD ZONE X
FLOOD ZONE AE(9')

1/2" PIPE (SET)
(P.O.L.)

1/2" PIPE (SET)
(P.O.L.)

SHORELINE FOLLOWS ALONG
UPPER REACHES OF THE
WASH OF THE WAVES
WITHIN THE REVETMENT
AS OF 02/20/2024

EROSION
5,712 Sq. Ft.

SHORELINE FOLLOWS
ALONG BOTTOM OF BANK
APPROVED BY THE
STATE LAND SURVEYOR
AS OF 9/4/1973

SEA

1

2

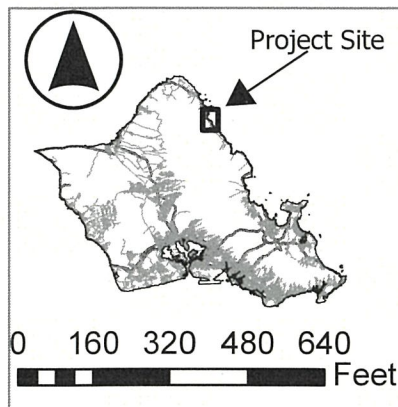
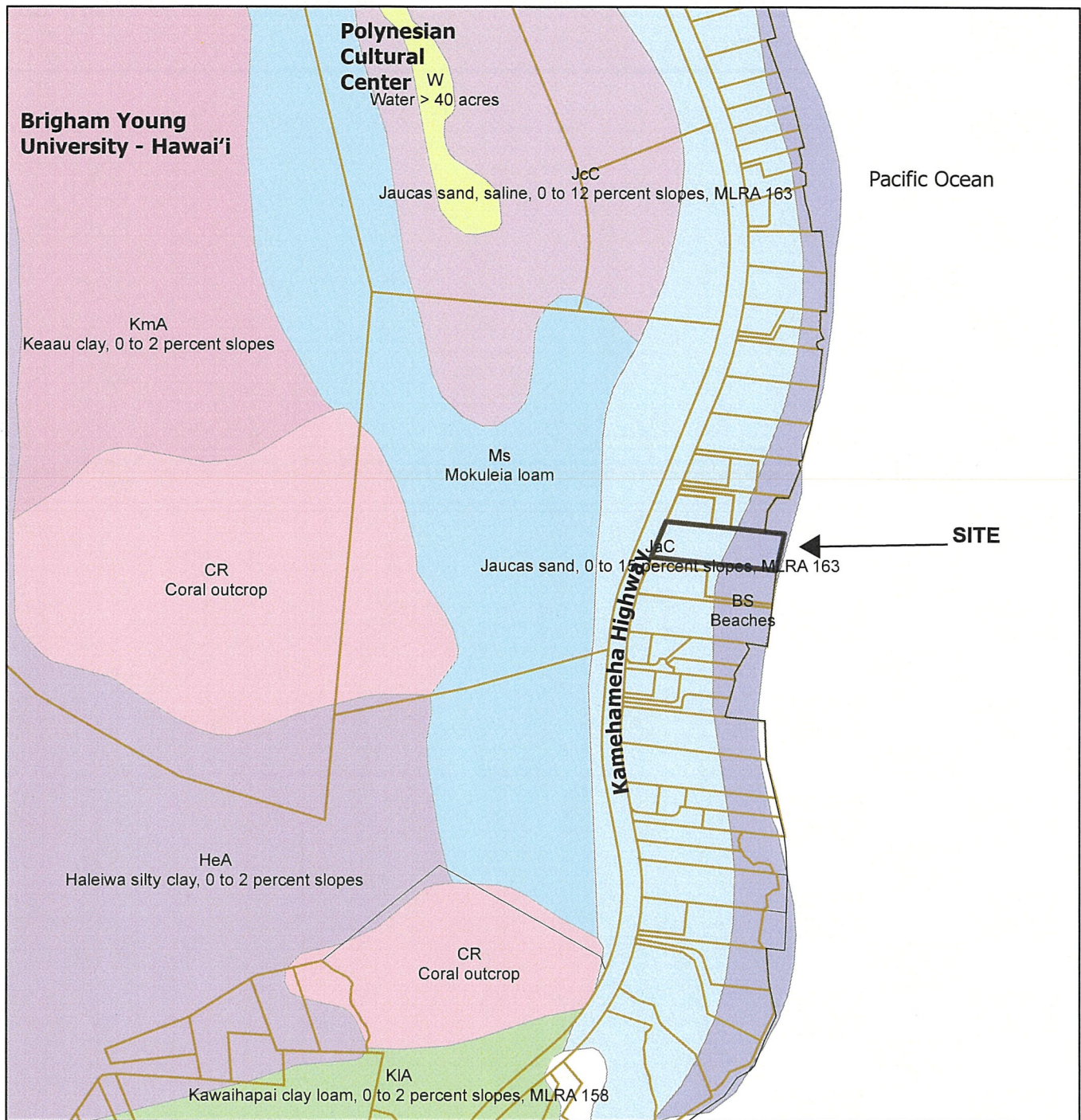
3

4



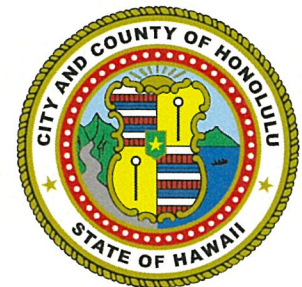
THIS WORK WAS PREPARED BY
ME OR UNDER MY SUPERVISION

John R. K. Akima
Exp. 04/30/26

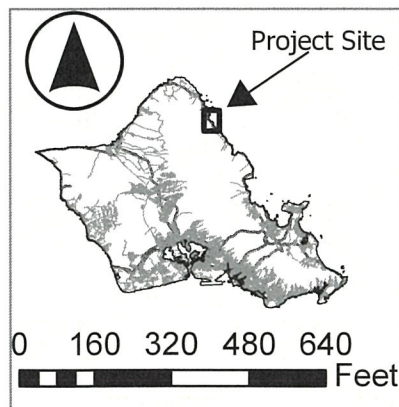
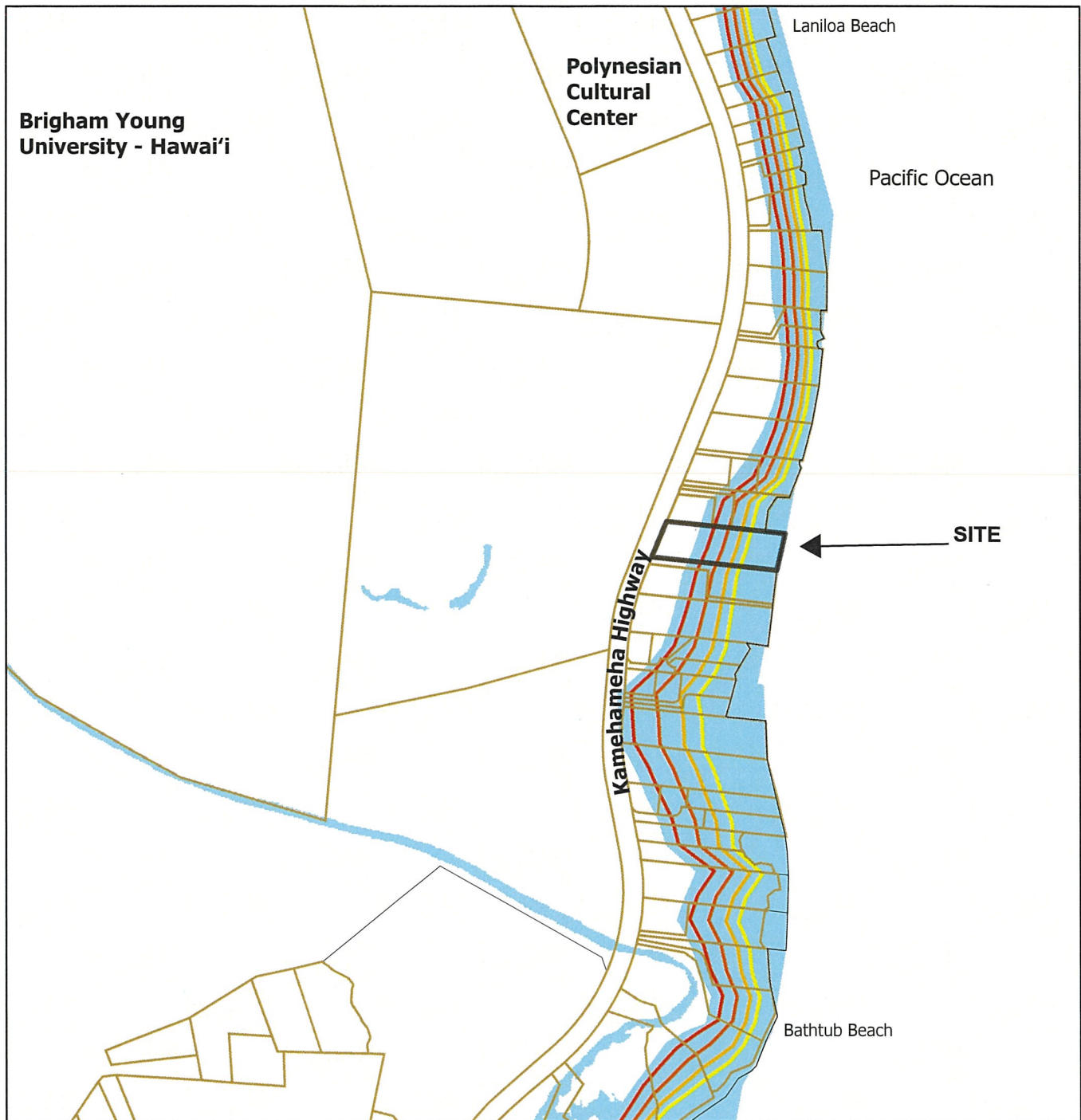


Soil Type Map Exhibit F File No.: 2024/SMA-81

Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway - Laie
TMK: 5-5-002:032
Legend



City and County of Honolulu

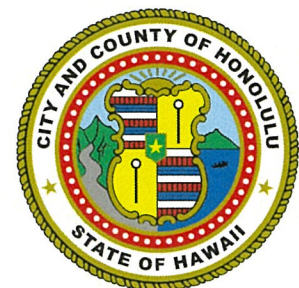


Sea Level Rise Map Exhibit H File No.: 2024/SMA-81

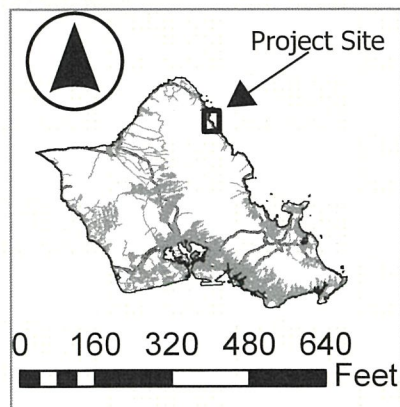
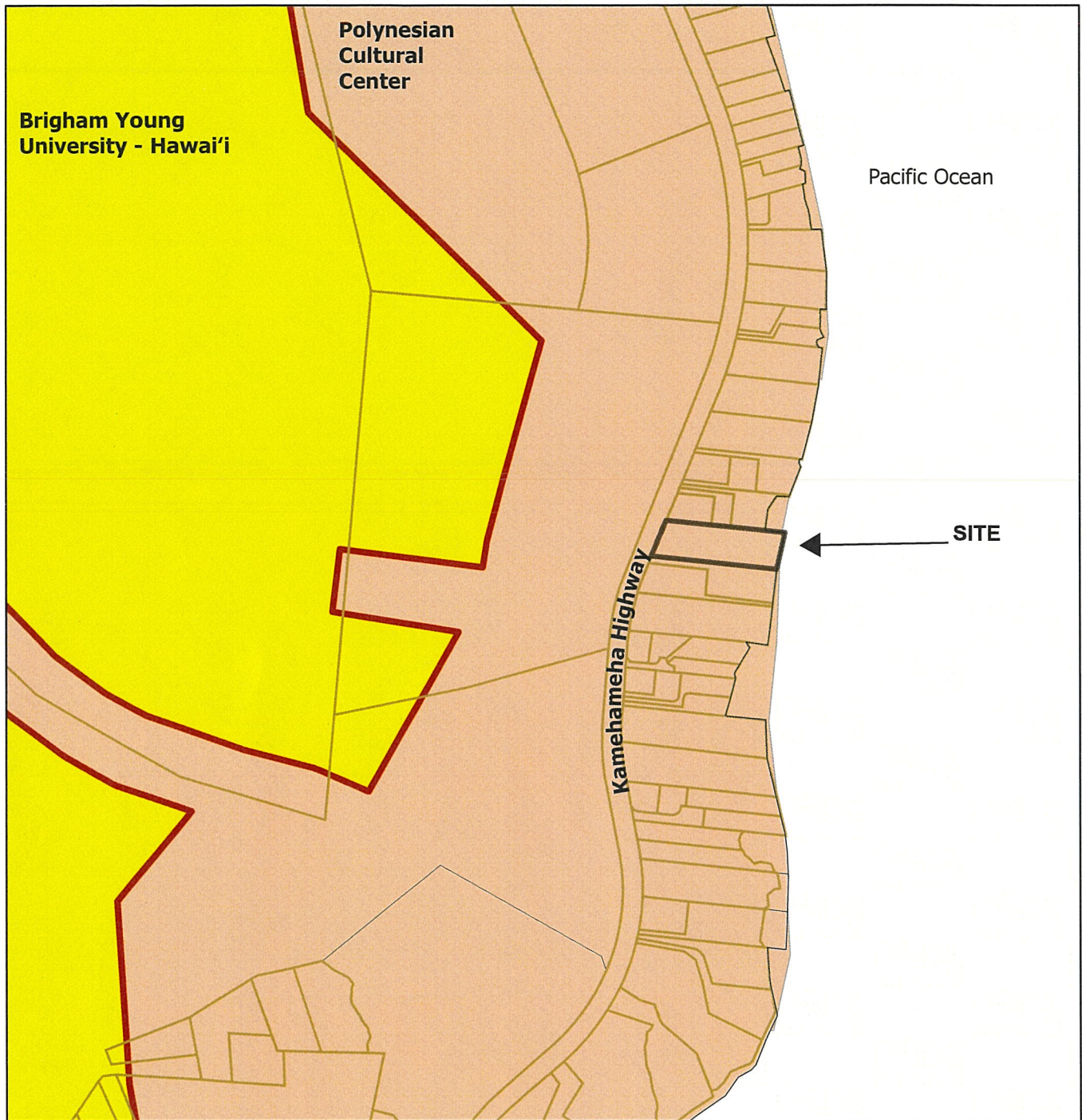
Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway - Laie
TMK: 5-5-002:032

Legend

- SLR Exposure Area - 3.2 Ft. Scenario
- SLR Coastal Erosion (Line) - 0.5 Ft. Scenario
- SLR Coastal Erosion (Line) - 1.1 Ft. Scenario
- SLR Coastal Erosion (Line) - 2.0 Ft. Scenario
- SLR Coastal Erosion (Line) - 3.2 Ft. Scenario



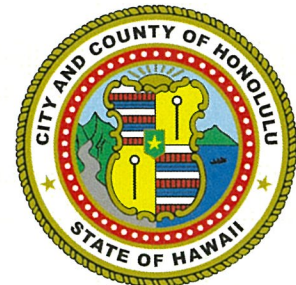
City and County of Honolulu



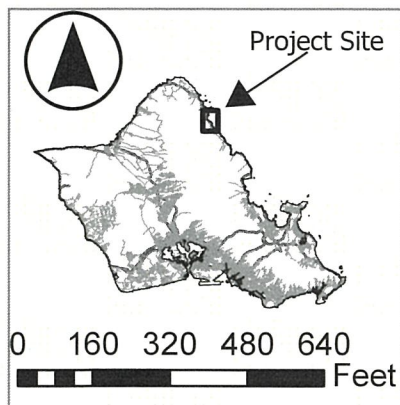
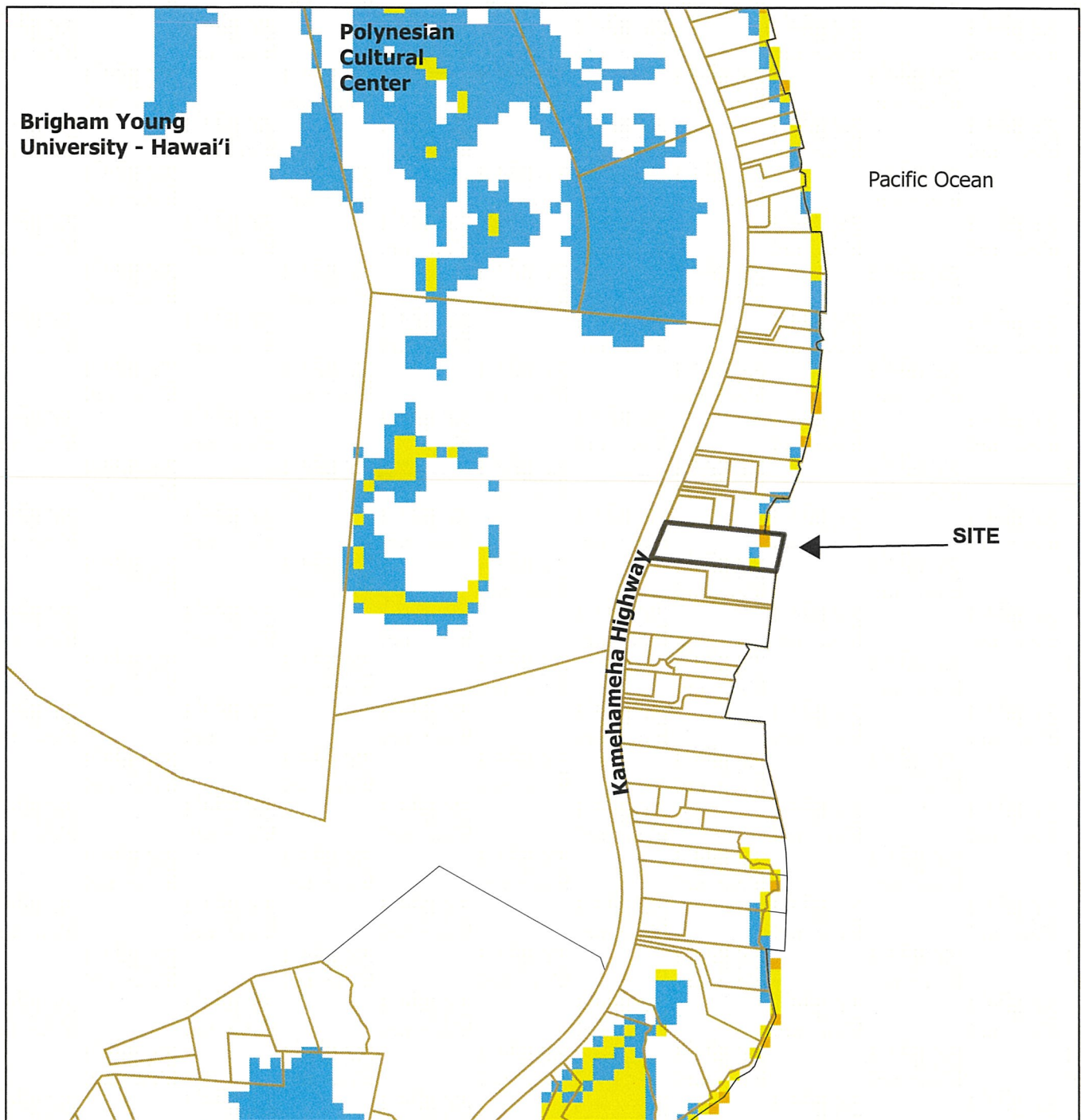
Tsunami Map Exhibit I
File No.: 2024/SMA-81
Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway - Laie
TMK: 5-5-002:032

Legend

- Tsunami Evacuation Zone
- Extreme Tsunami Evacuation Zone
- Safe Zone



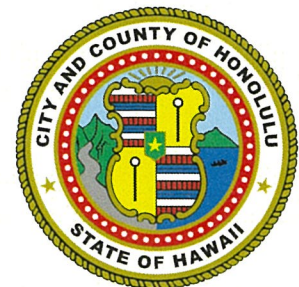
City and County of Honolulu



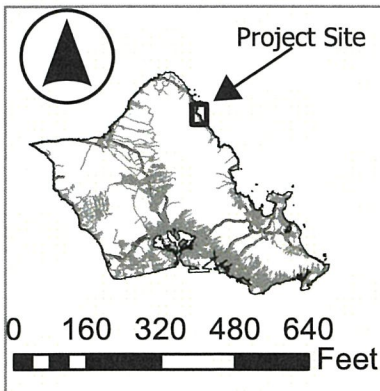
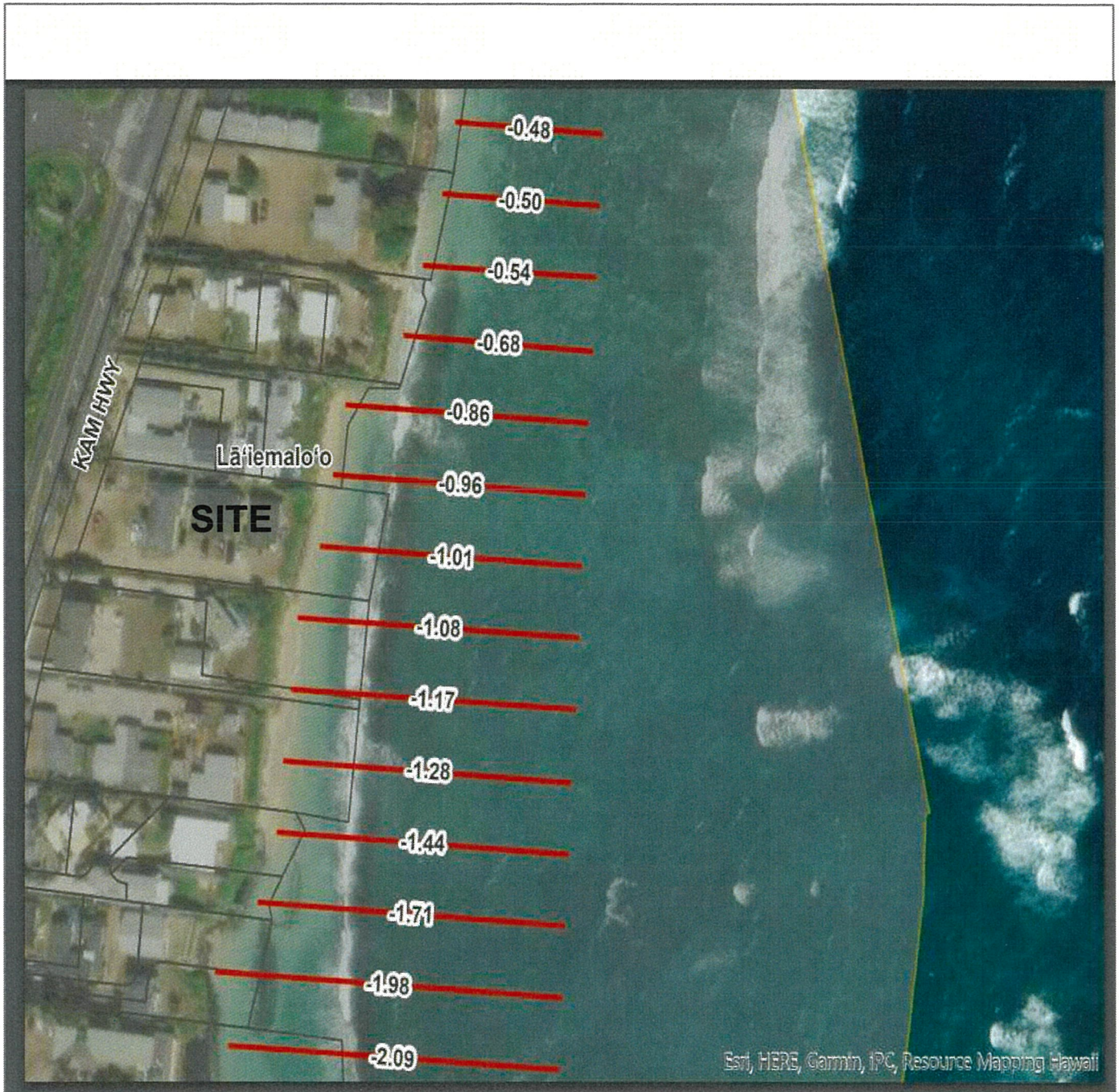
Storm Surge Map Exhibit J File No.: 2024/SMA-81

Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway - Laie
TMK: 5-5-002:032

Legend

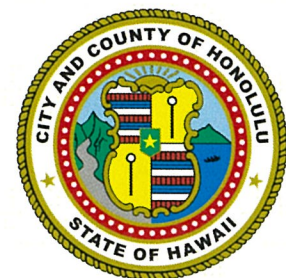


City and County of Honolulu

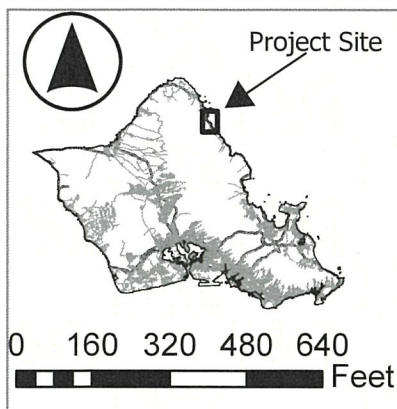
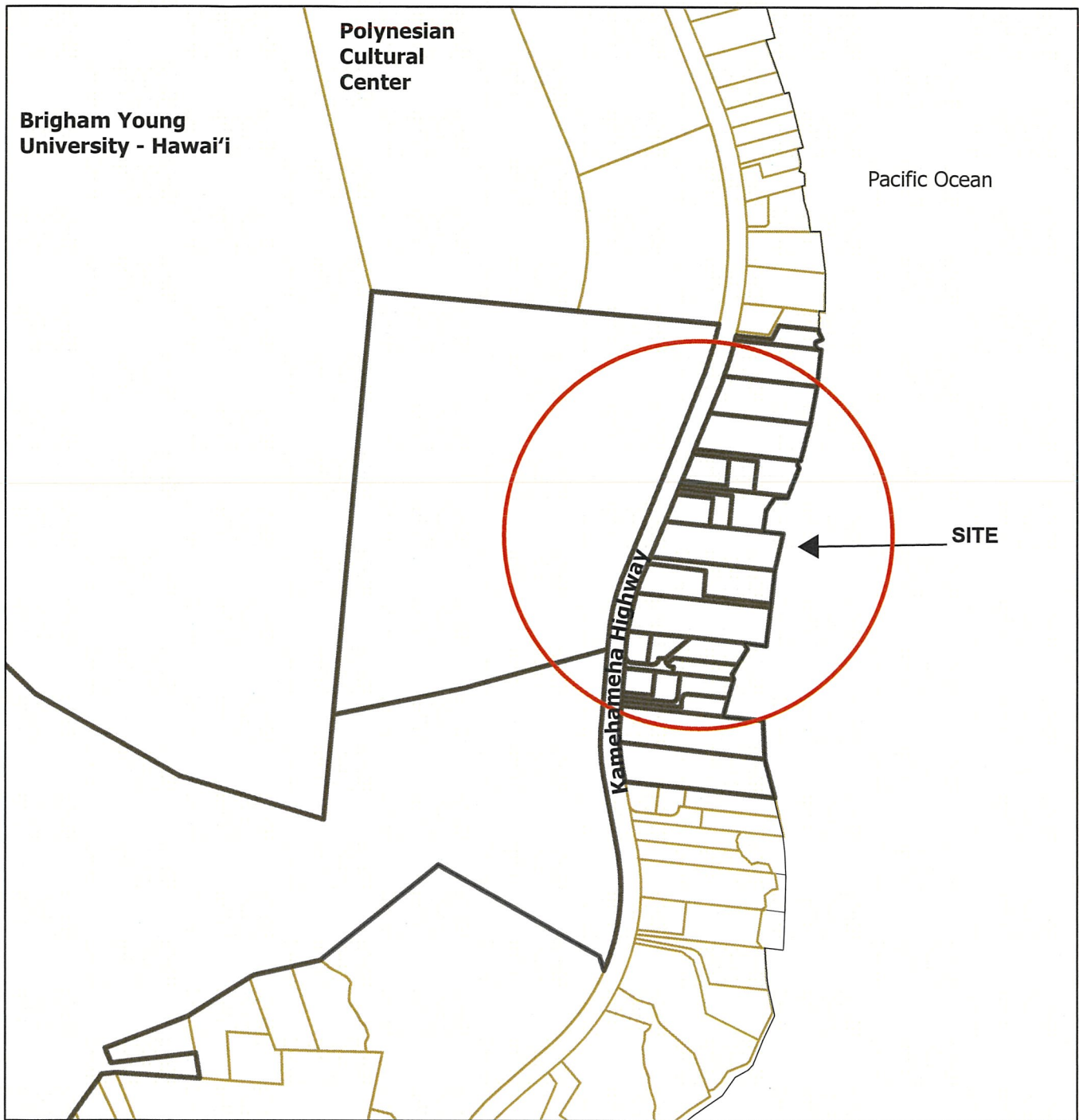


Erosion Rate Map Exhibit K File No.: 2024/SMA-81

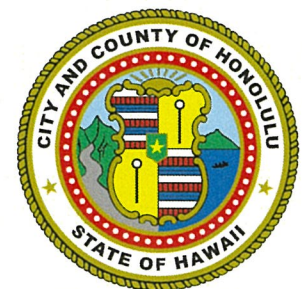
Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway
- Laie
TMK: 5-5-002:032



City and County of Honolulu



Cumulative Impact Map
Exhibit L File No.: 2024/SMA-81
Project: Hale Kahaki Ma Laie
Location: 55-337 Kamehameha Highway - Laie
TMK: 5-5-002:032



City and County of Honolulu

Report Title:

Special Management Area ("SMA") Major Permit; Land Use Permit; Department of Planning and Permitting ("DPP"); Lā'ie, O'ahu; Laie, Oahu

The summary description of legislation appearing on this page is for informational purposes only and is not legislation or evidence of legislative intent.